



**COUNTY OF MENDOCINO**

**DEPARTMENT OF PLANNING AND BUILDING SERVICES**

860 NORTH BUSH STREET • UKIAH • CALIFORNIA • 95482

752 SOUTH FRANKLIN STREET • FT. BRAGG • CALIFORNIA • 95437

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[www.mendocinocounty.gov/pbs](http://www.mendocinocounty.gov/pbs)

August 19, 2025

**COASTAL DEVELOPMENT STANDARD PERMIT  
AUTHORIZATION FOR EMERGENCY WORK  
CASE FILE EM\_2025-0002**

**OWNER/ APPLICANT:**

Young Kim  
P.O. Box 500  
Mendocino, CA 95460

**AGENT:**

Debra Lennox  
P.O. Box 798  
Mendocino, CA 95460

**SITE ADDRESS/ APN:**

7746 N. Highway 1, Little River (APN: 121-280-17)

**NATURE OF EMERGENCY:**

Pursuant to Health and Safety Code Chapter 6.7, Section 25292.05, the State Water Resources Control Board requires that all single-walled underground storage tanks (USTs) and non-exempt single-walled piping (SWTs) be permanently closed by December 31, 2025. This mandate applies without exception and necessitates immediate action to ensure compliance within the specified deadline.

**CAUSE OF EMERGENCY:**

The emergency stems from a State Water Resources Control Board mandate requiring the permanent closure of all single-walled underground storage tanks (USTs) and non-exempt single-walled piping (SWTs) by December 31, 2025. Failure to comply with this requirement may result in the forced closure of affected businesses. Additionally, the continued operation of these aging systems poses significant health, safety, and environmental risks due to the potential for fuel leaks.

**REMEDIAL ACTION:**

This Emergency Permit authorizes that all single-walled underground storage tanks (USTs) and non-exempt single-walled piping (SWTs) be permanently closed and removed. Per California Health and Safety Code, Section 25298, this will require the applicant to demonstrate to the local agency that all residual amounts of the hazardous substance or hazardous substances which were stored in the tank system prior to its closure have been removed, properly disposed of, and neutralized. The applicant shall adequately seal the tank system to minimize any threat to the public safety and the possibility of water intrusion into, or runoff from, the tank system. The applicant shall provide for, and carry out, the maintenance of the tank system as the local agency determines is necessary for the period of time the local agency requires. The applicant shall demonstrate to the appropriate agency, which has jurisdiction over the site, that the site has been investigated to determine if there are any present, or were past, releases, and if so, that

appropriate corrective or remedial actions have been taken. The contractor will disconnect, drain, and remove the existing dispensers. Fuel piping at the turbine sump will be disconnected, drained, purged, and triple-rinsed before removal of fuel lines. A trench following the existing fuel line path will be excavated from the tank pit to the dispensers. Soil samples will be collected from underground containment system (UCS) locations at intervals of every 20 linear feet along the fuel line trench. Samples will be tested according to local agency recommendations. All fuel and cleaning materials will be collected in Department of Transportation (DOT)-approved drums and disposed of at a certified disposal facility. Two existing underground storage tanks will be purged, cleaned, and removed. The contractor will verify that all tanks slated for removal are free of hazardous vapors and are confirmed "inert" before removal by measuring lower explosive limit (LEL) and upper explosive limit (UEL) levels to ensure compliance with local agency standards. Two underground storage tanks will be labeled as "empty/clean/inert" and hauled as non-hazardous waste to a metal scrap yard. One underground storage tank located under the building will be partially removed and filled in place. Additionally, the contractor shall secure all open hazardous holes by installing temporary safety fencing during the removal of the tanks, as well as implementing best management practices. All work will be performed by Beacom Construction Co., holding State Contractor License No. 00168923 and ICC License for UST Installation and Retrofitting No. 5238454.

See the attached Emergency Permit application, site plan, construction plans, and a complete detailed scope of work prepared by the contractor.

**CIRCUMSTANCES TO  
JUSTIFY EMERGENCY:**

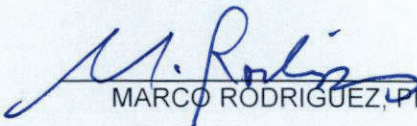
Failure to authorize this emergency work may result in forced business closure under the State Water Resources Control Board mandate, which requires all single-walled underground storage tanks (USTs) and non-exempt single-walled piping (SWTs) to be permanently closed by December 31, 2025. Furthermore, delaying this work increases the risk of fuel leaks, potentially resulting in serious health, safety, and environmental impacts.

**COMPLIANCE:**

Permits for Approval of Emergency Work are subject to MCC Sec. 20.536.060 *et seq.*

This emergency permit is effective immediately and shall become null and void at the end of sixty (60) days. Prior to expiration of this Emergency Permit, the applicant shall submit a standard Coastal Development Permit application for the work authorized by this permit.

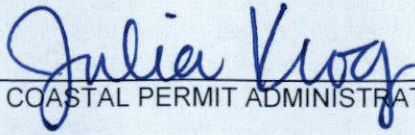
**RECOMMENDED BY:**

  
MARCO RODRIGUEZ, PLANNER I

8-25-2025  
DATE



**APPROVED BY:**

  
COASTAL PERMIT ADMINISTRATOR

8/25/2025  
DATE

**ATTACHMENTS:**

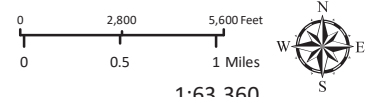
- A. Location Map
- B. Aerial Map
- C. Aerial Map (Site)
- D. Topographical Map
- E. Site Map
- F. General Plan Map
- G. Zoning Map
- H. LCP Maps
- I. Adjacent Owner Map
- J. Fire Hazards Map
- K. Flood Zone
- L. Slope Map
- M. Soils Map
- N. Ground Water Resource Area
- O. Highly Scenic/Tree Removal
- P. Wetlands
- Q. Wildland-Urban Interface
- R. Important Farmlands
- S. School District
- T. Landslide Hazards
- U. State Parks
- V. Application
- W. Project Plans
- X. Health and Safety Code Section 25292.05
- Y. Health and Safety Code Section 25298





**CASE: EM 2025-0002**  
**OWNER: KIM, Young**  
**APN: 121-280-17**  
**APLCT: Young Kim**  
**AGENT: Debra Lennox**  
**ADDRESS: 7746 N Hwy 1, Little River**

**Major Towns & Places** (Black circle with a dot)  
**Major Roads** (Red line with white dashes)  
**Coastal Zone Boundary** (Red dashed line)  
**Highways** (Red line)



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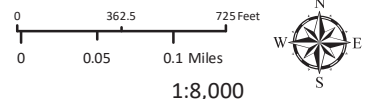




Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community, Source: Esri, Maxar, Earthstar Geographics, IGN, and the GIS User Community

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- Major Towns & Places
- Highways (2017)
- Public Roads
- Private Roads
- Driveways/Unnamed Roads



1:8,000

AERIAL IMAGERY



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Source: Esri, Maxar, Earthstar Geographics, and the GIS User Community,  
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 Major Towns & Places  
 Assessors Parcels

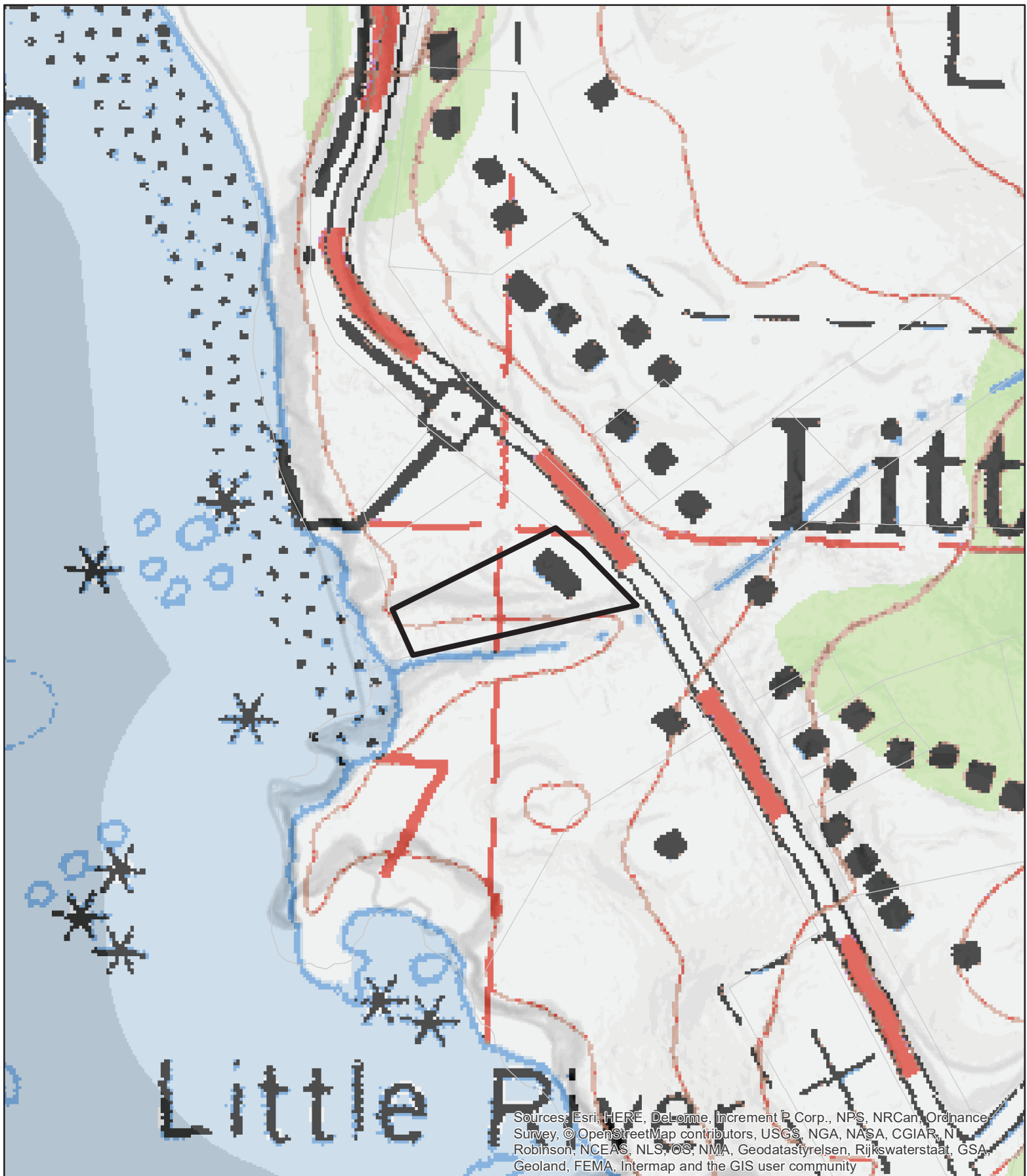
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**AERIAL IMAGERY**

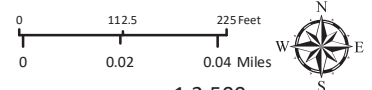
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**ADDRESS: 7746 N Hwy 1, Little River**  Assessors Parcels



**1:2,500**  
**TOPOGRAPHIC MAP**  
CONTOUR INTERVAL IS 40 FEET

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REVISION	DATE



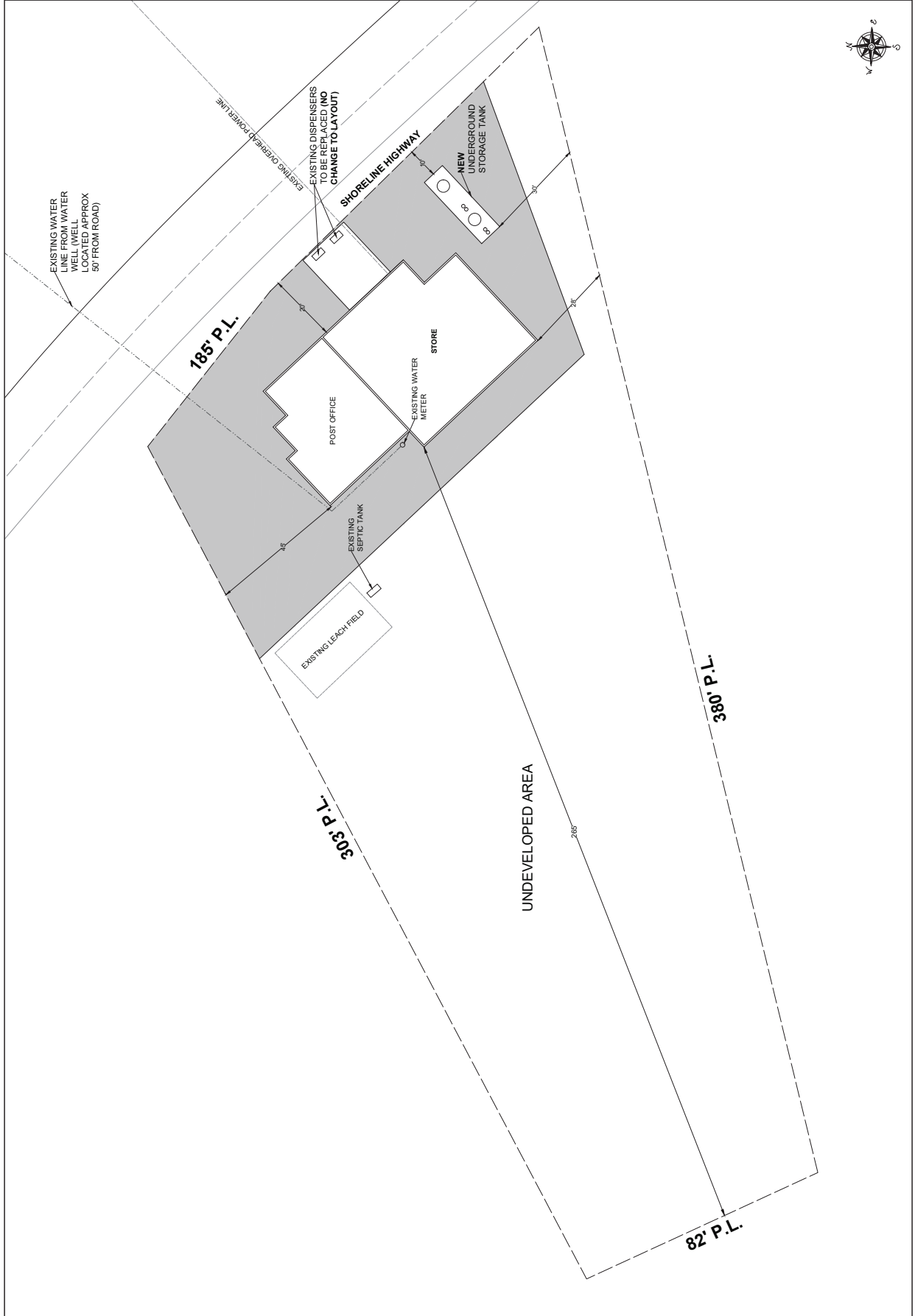
The  
Trevor James  
Ambrosini  
Company

Cloverdale, CA

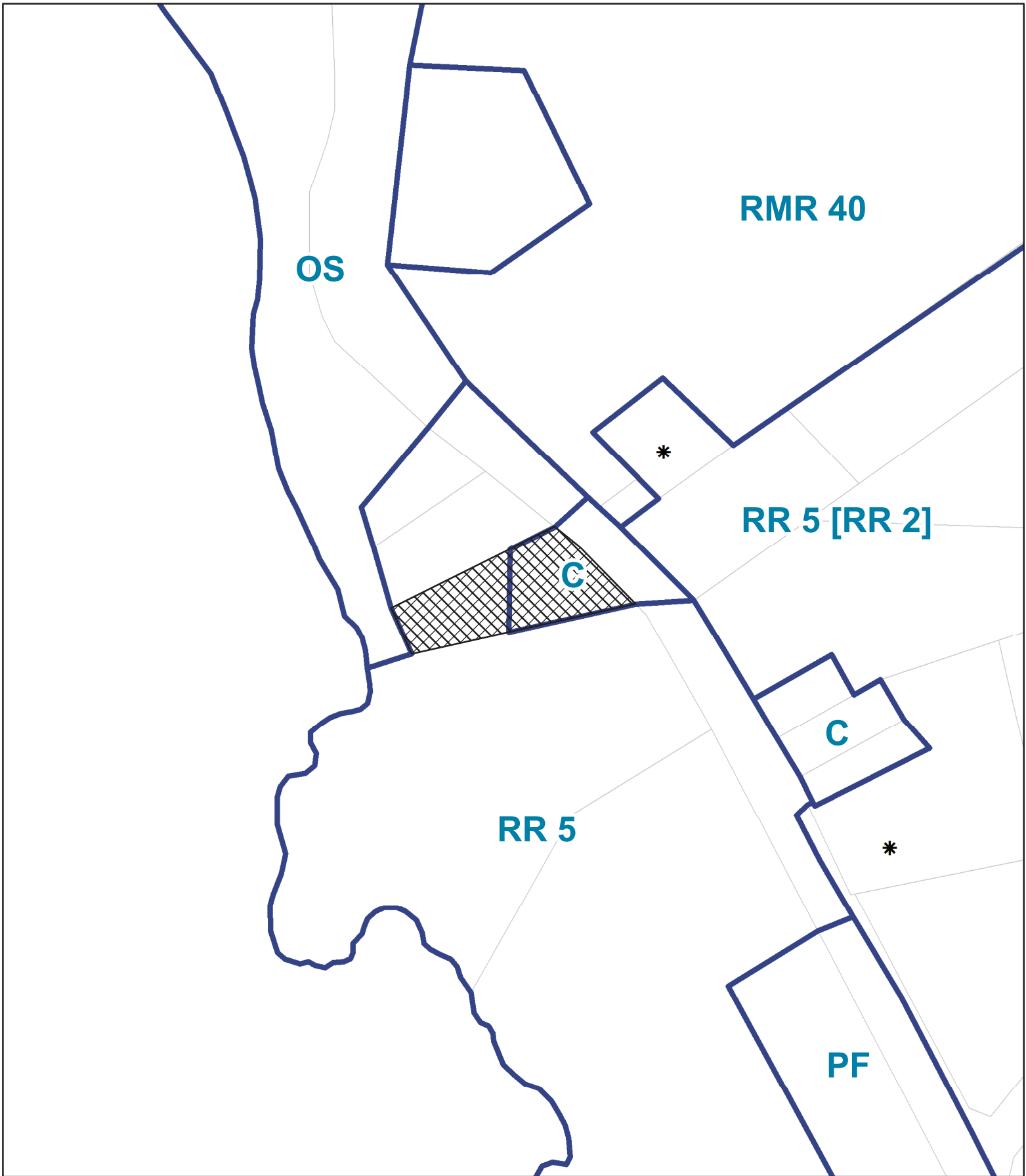
Little River Fuel System Remodel  
Parcel Map  
7746 CA-1, Little River, CA - 95456

FOR NAME:	DATE:
SHEET NAME:	PROJECT:
5-9-2025	5-9-2025
NO SCALE	NO SCALE
SHEET NO.	SHEET NO.

2 of 4







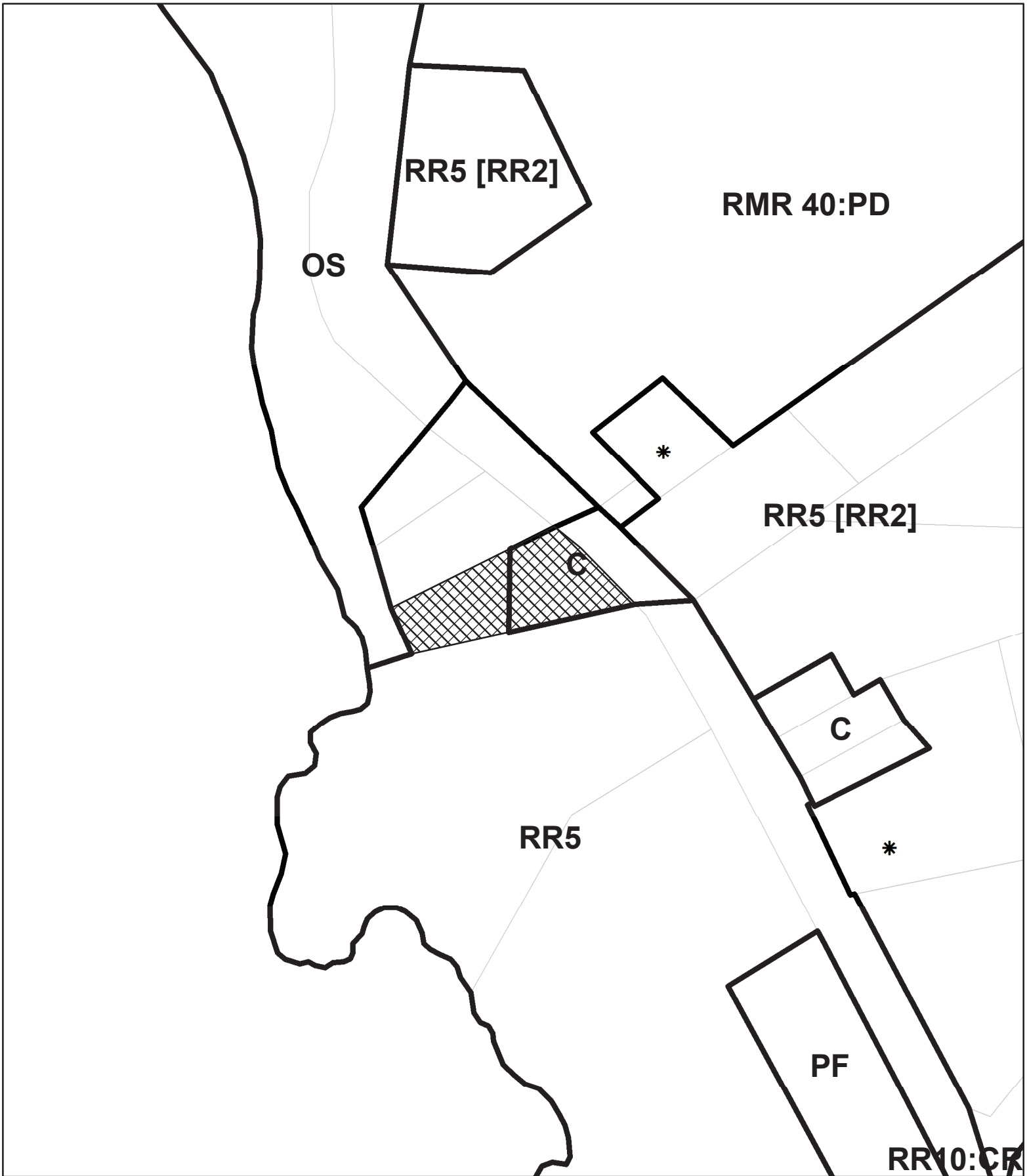
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\* Visitor\_Accommodation\_&\_Services  
Assessors Parcels

0 112.5 225 Feet  
0 0.02 0.04 Miles  
N  
W E  
S

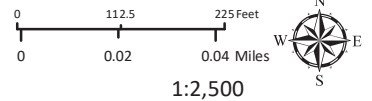
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GENERAL PLAN

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- \* Visitor\_Accommodation\_&\_Services
- Zoning Districts
- Assessors Parcels

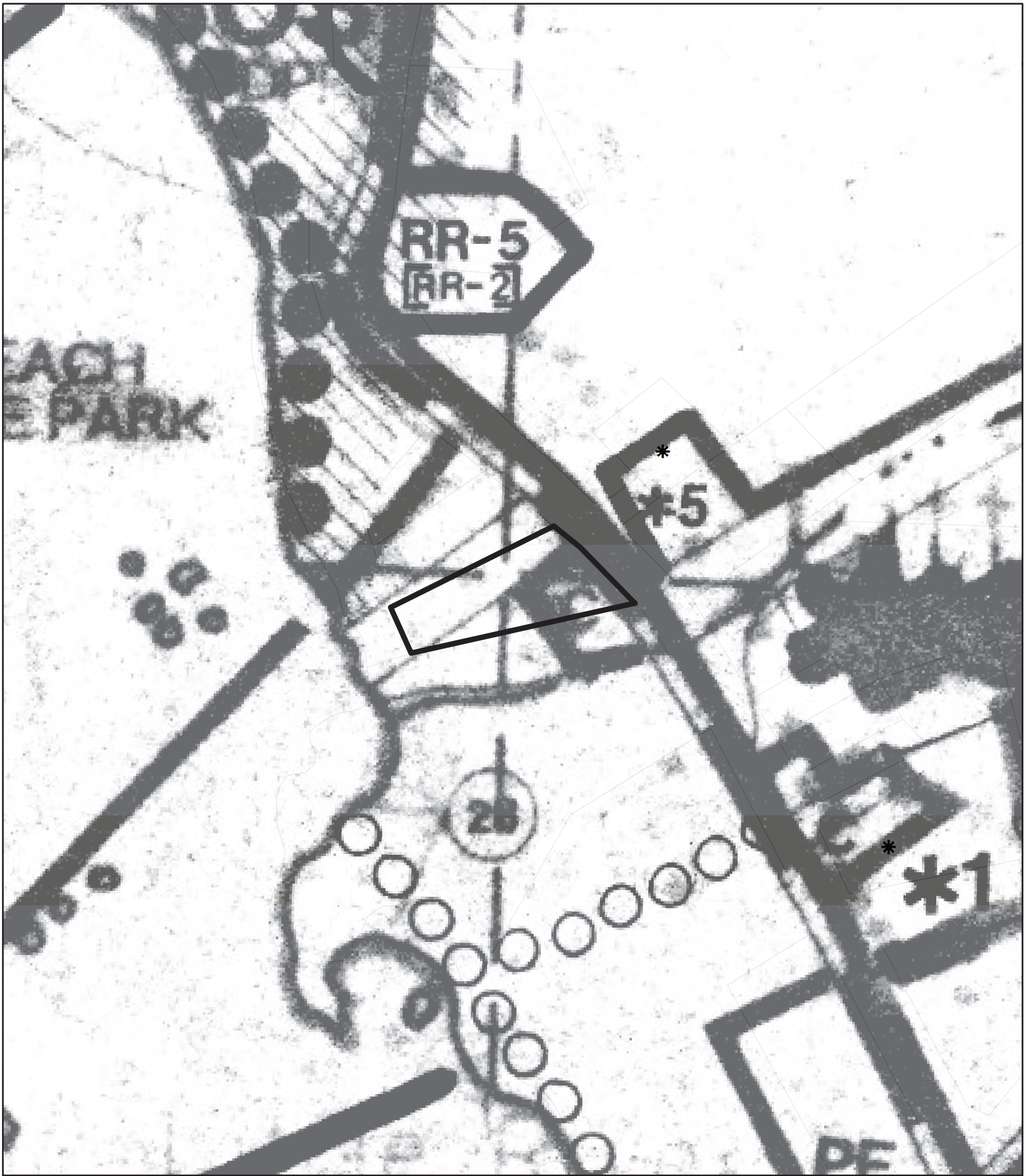


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ZONING

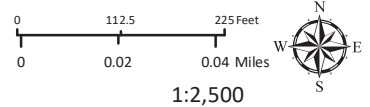
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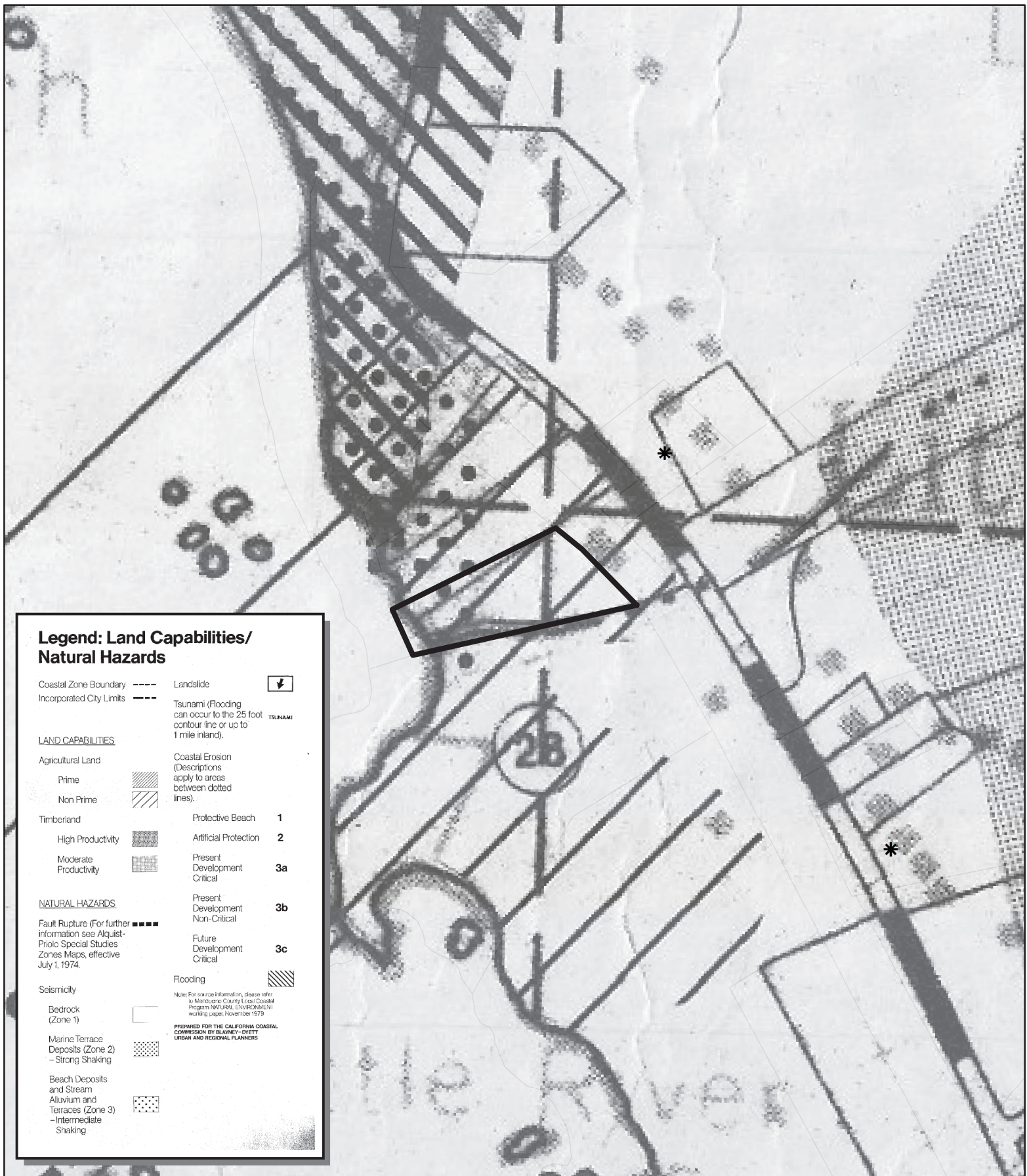
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\* Visitor Accomodation & Services  
Assessors Parcels

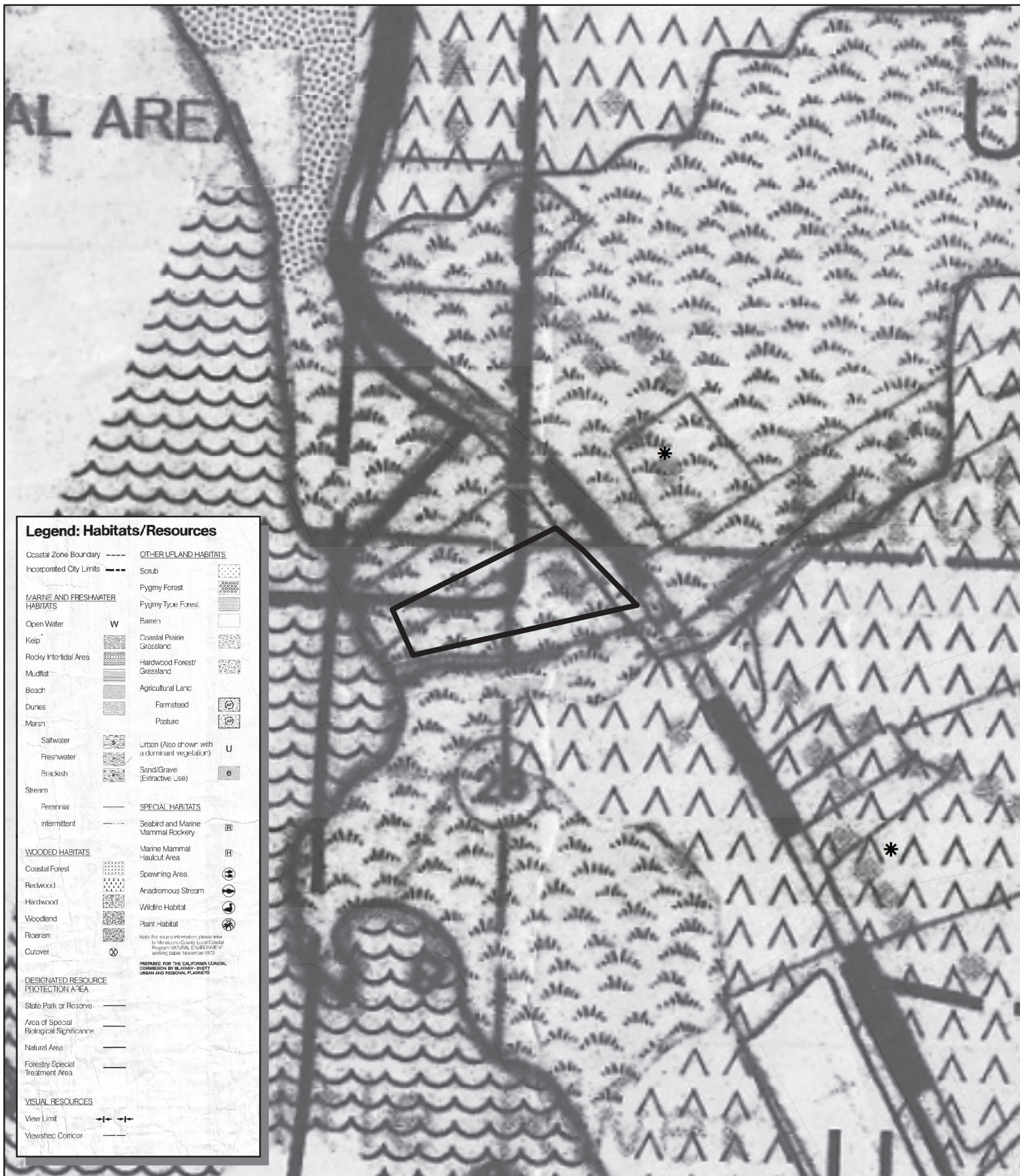


LCP LAND USE MAP 17: MENDOCINO

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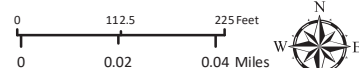




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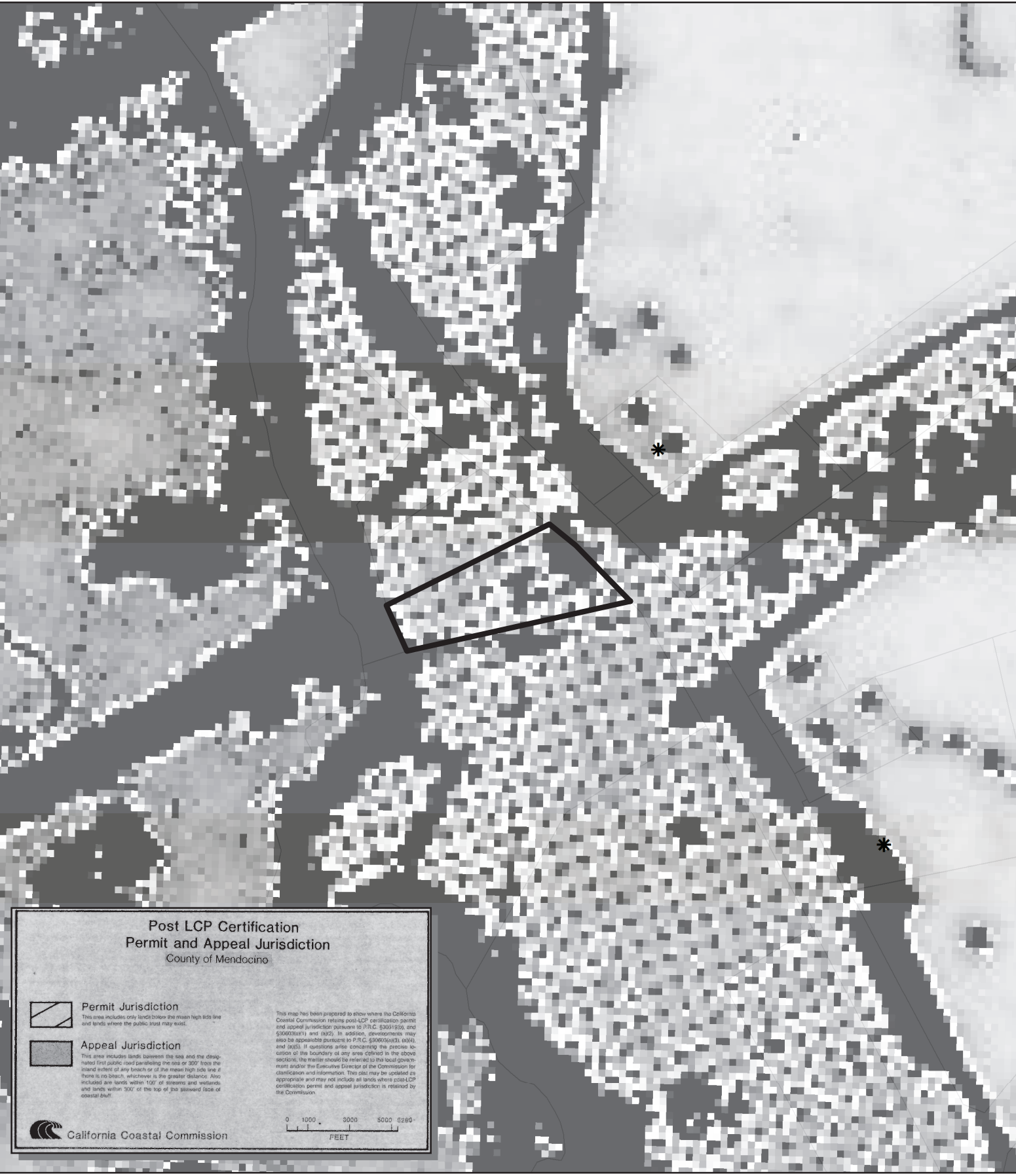
Assessors Parcels



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LCP HABITATS & RESOURCES

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Permit Jurisdiction

Appeal Jurisdiction

This map has been prepared to show where the California Coastal Commission retains post-LCP certification permit and appeal jurisdiction pursuant to P.R.C. §30019(b), and §36003(a)(1) and (a)(2). In addition, developments may also be appealable pursuant to P.R.C. §36003(a)(3), (a)(4), and (a)(5). If questions arise concerning the precise location of the boundary of any area depicted in the above sections, the matter should be referred to the local government and/or the Executive Director of the Commission for clarification and information. This data may be updated as appropriate and may not include all lands where post-LCP certification permit and appeal jurisdiction is retained by the Commission.

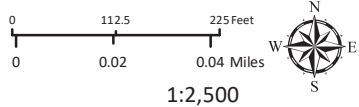
California Coastal Commission

0100030005000

FEET

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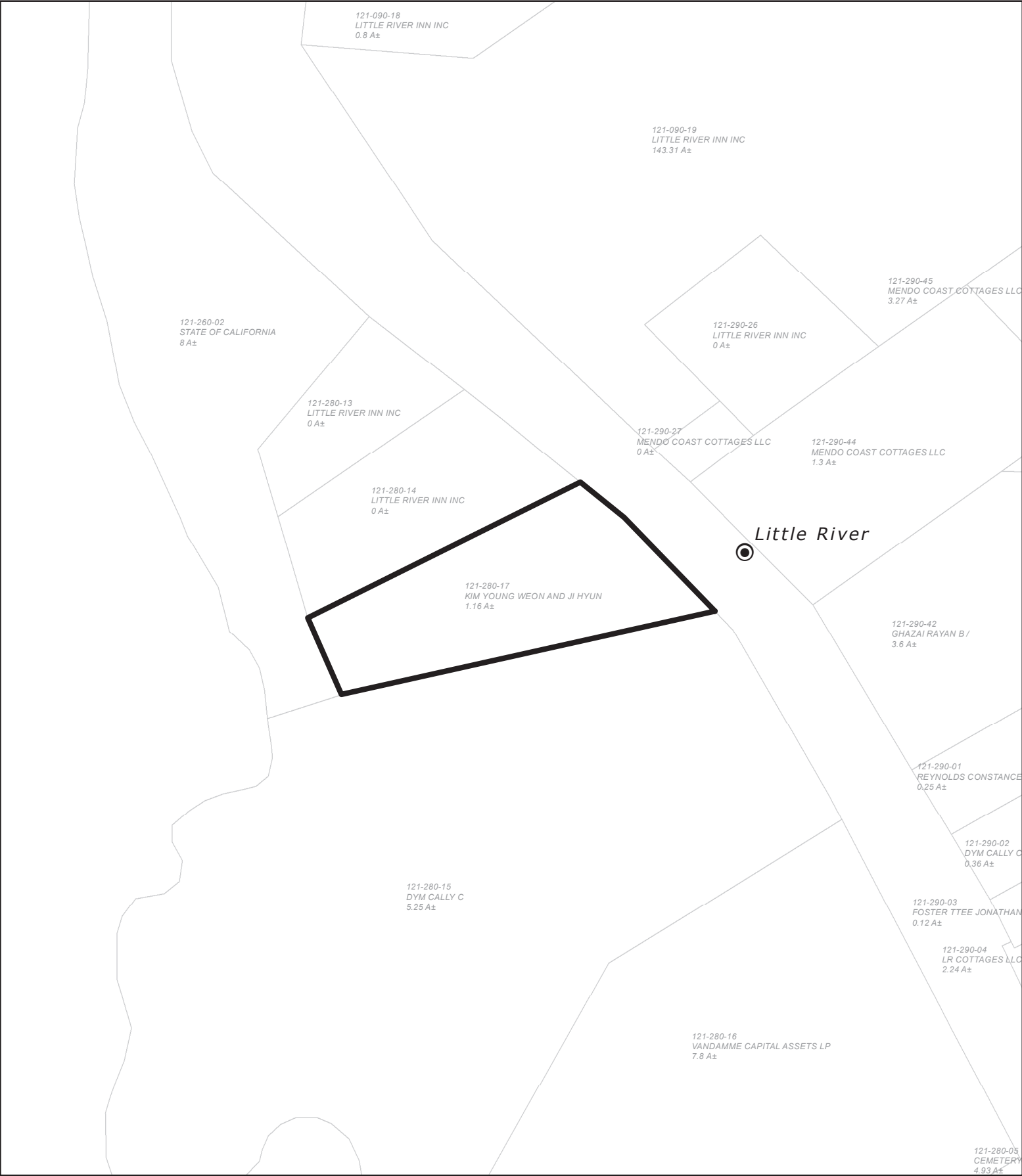
Visitor Accommodation & Services  
 Assessors Parcels





**POST LCP CERTIFICATION & APPEAL JURISDICTION**

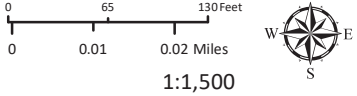
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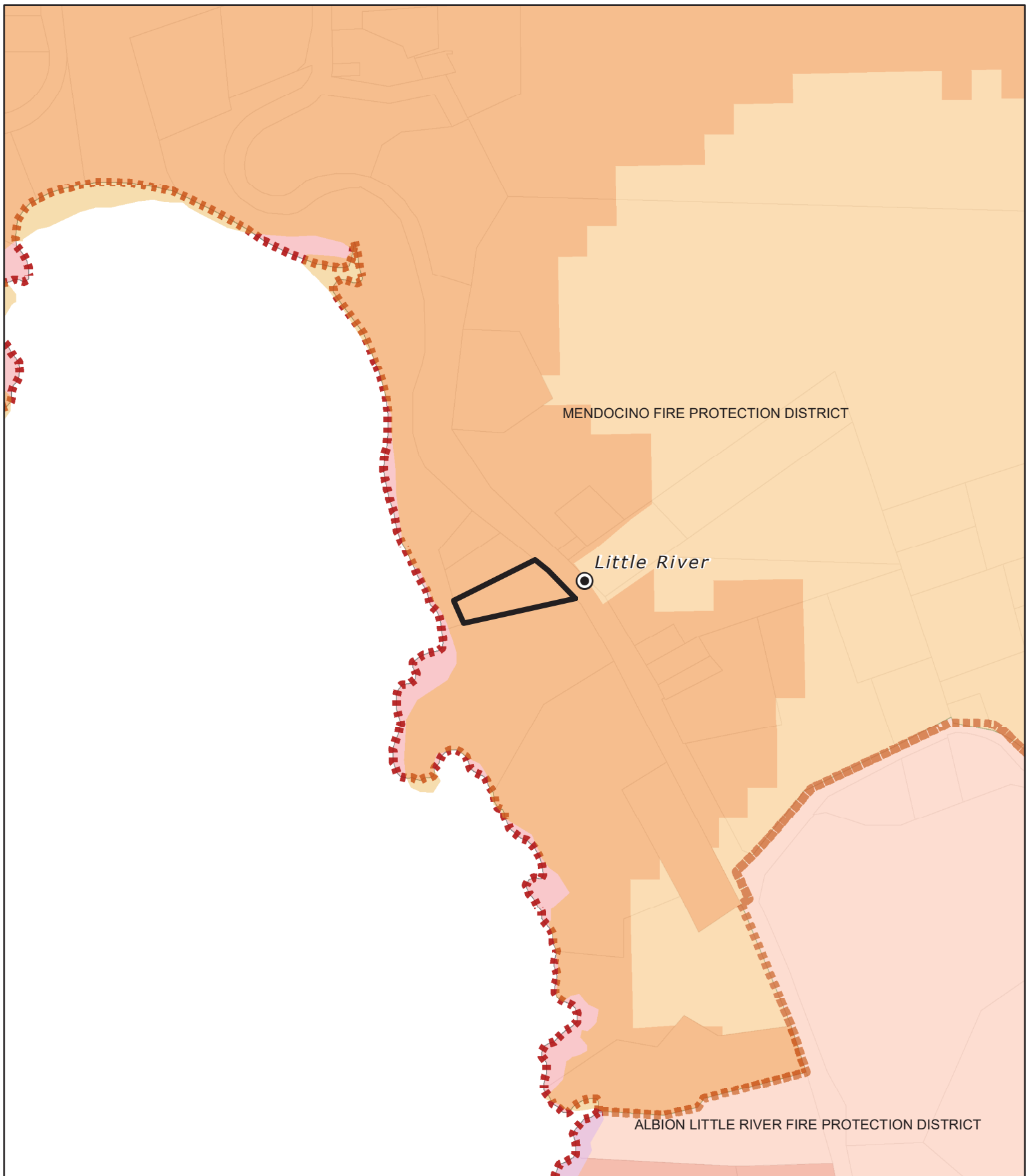
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 Major Towns & Places  
 Assessors Parcels



**ADJACENT PARCELS**

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Major Towns & Places



County Fire Districts



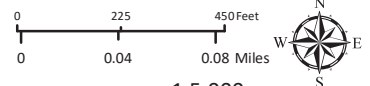
High Fire Hazard



Assessors Parcels



Moderate Fire Hazard

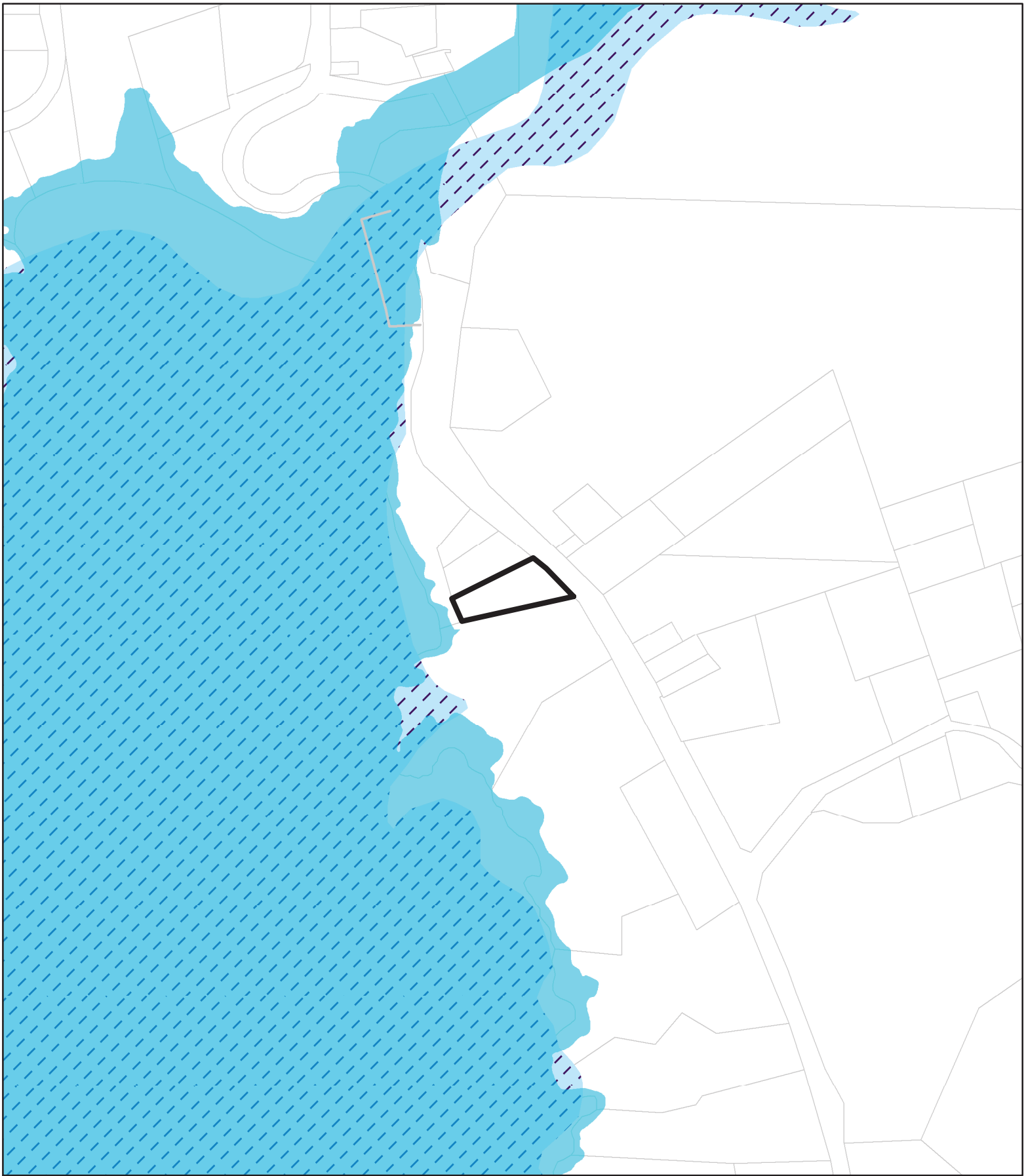


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**FIRE HAZARD ZONES & RESPONSIBILITY AREAS**  
STATE RESPONSIBILITY AREA

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General Structures

Structure Type

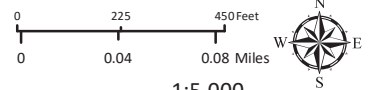
Other Structure



1% Annual Chance Flood Hazard

Tsunami Inundation Zones

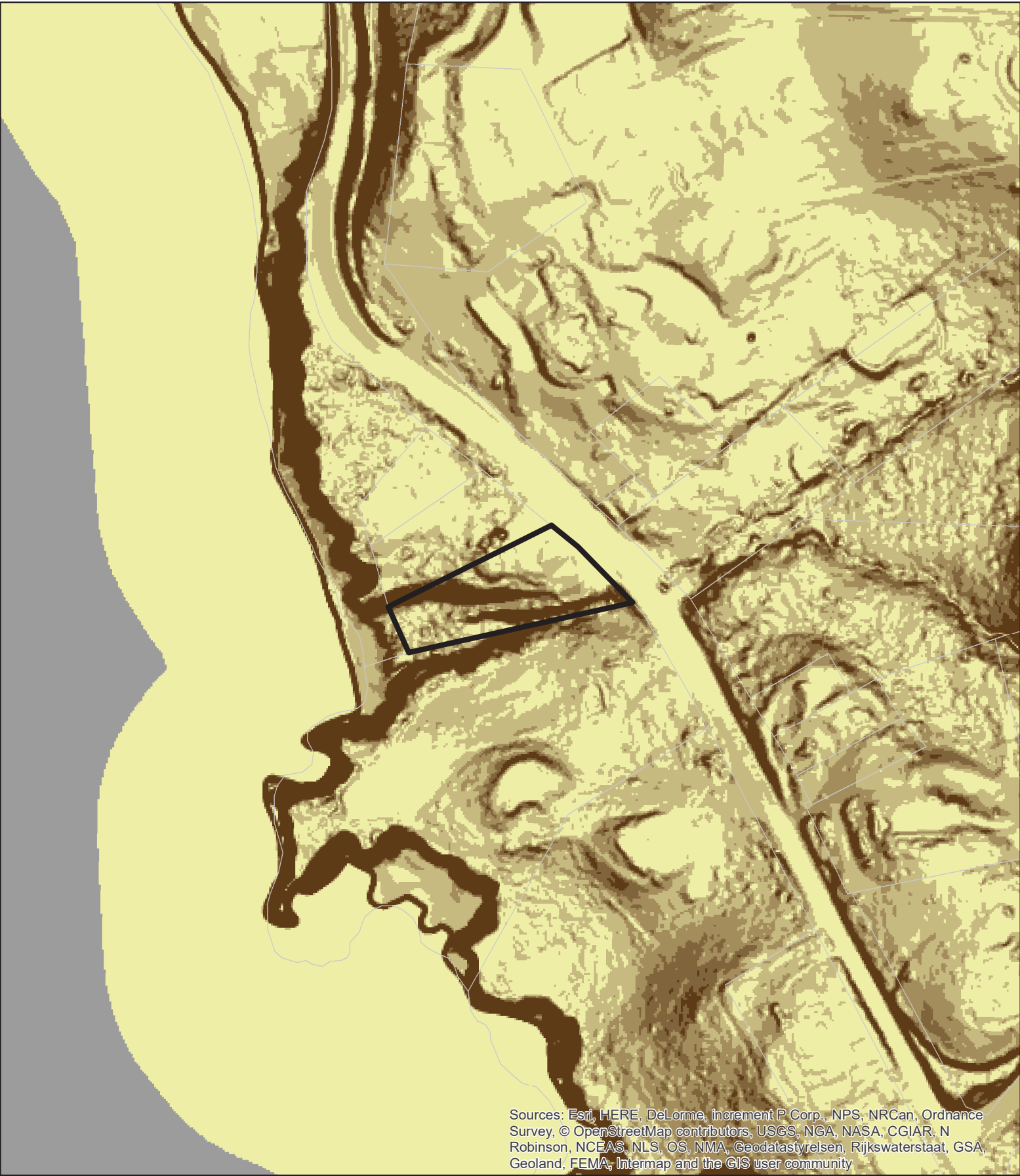
Assessors Parcels



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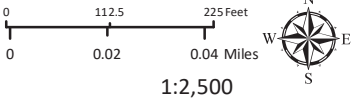
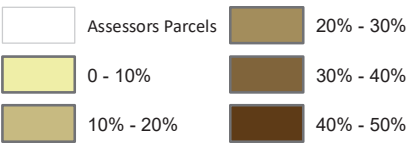
## FLOOD & TSUNAMI INUNDATION ZONES

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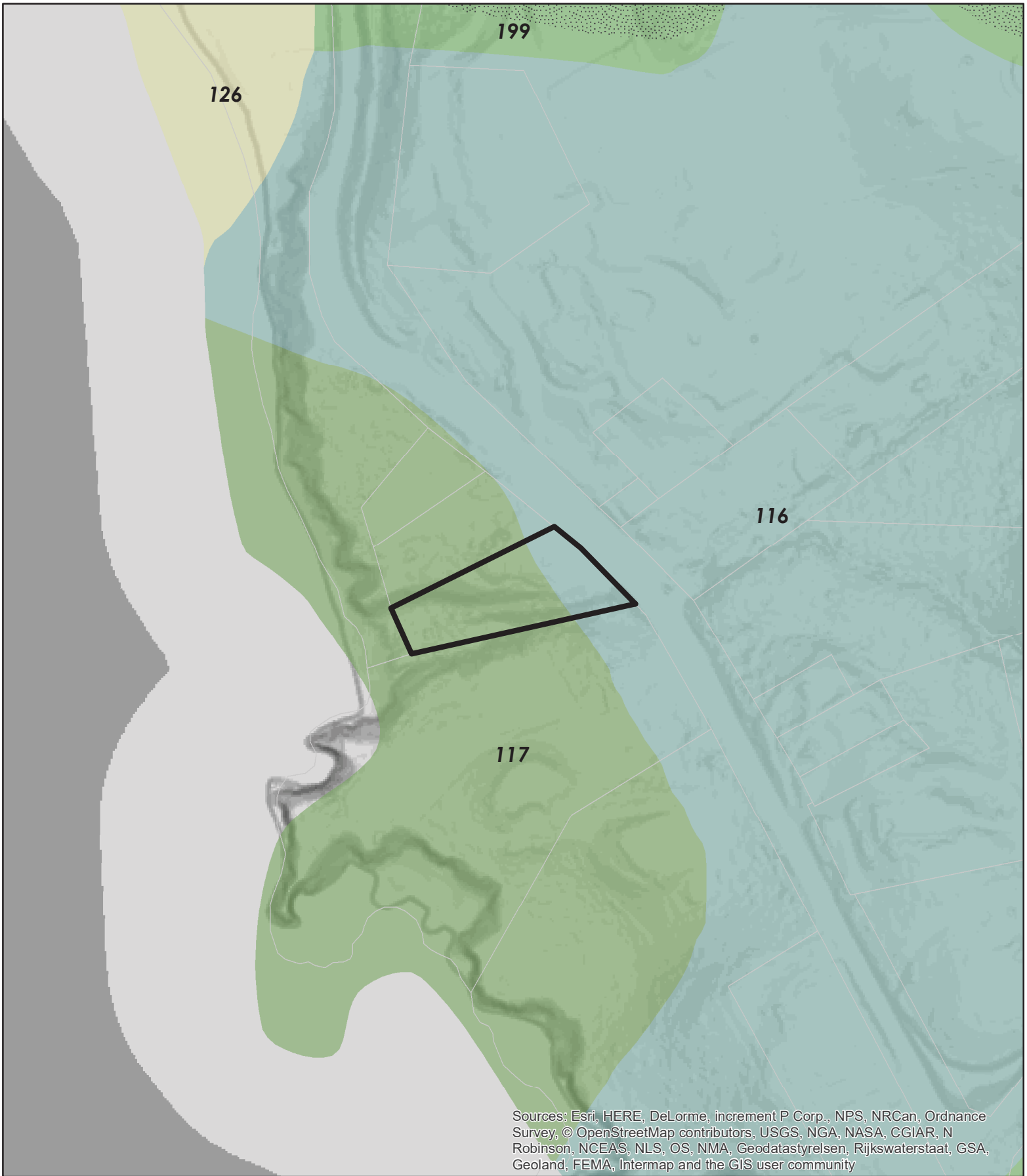
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1:2,500  
**ESTIMATED SLOPE**

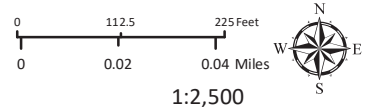
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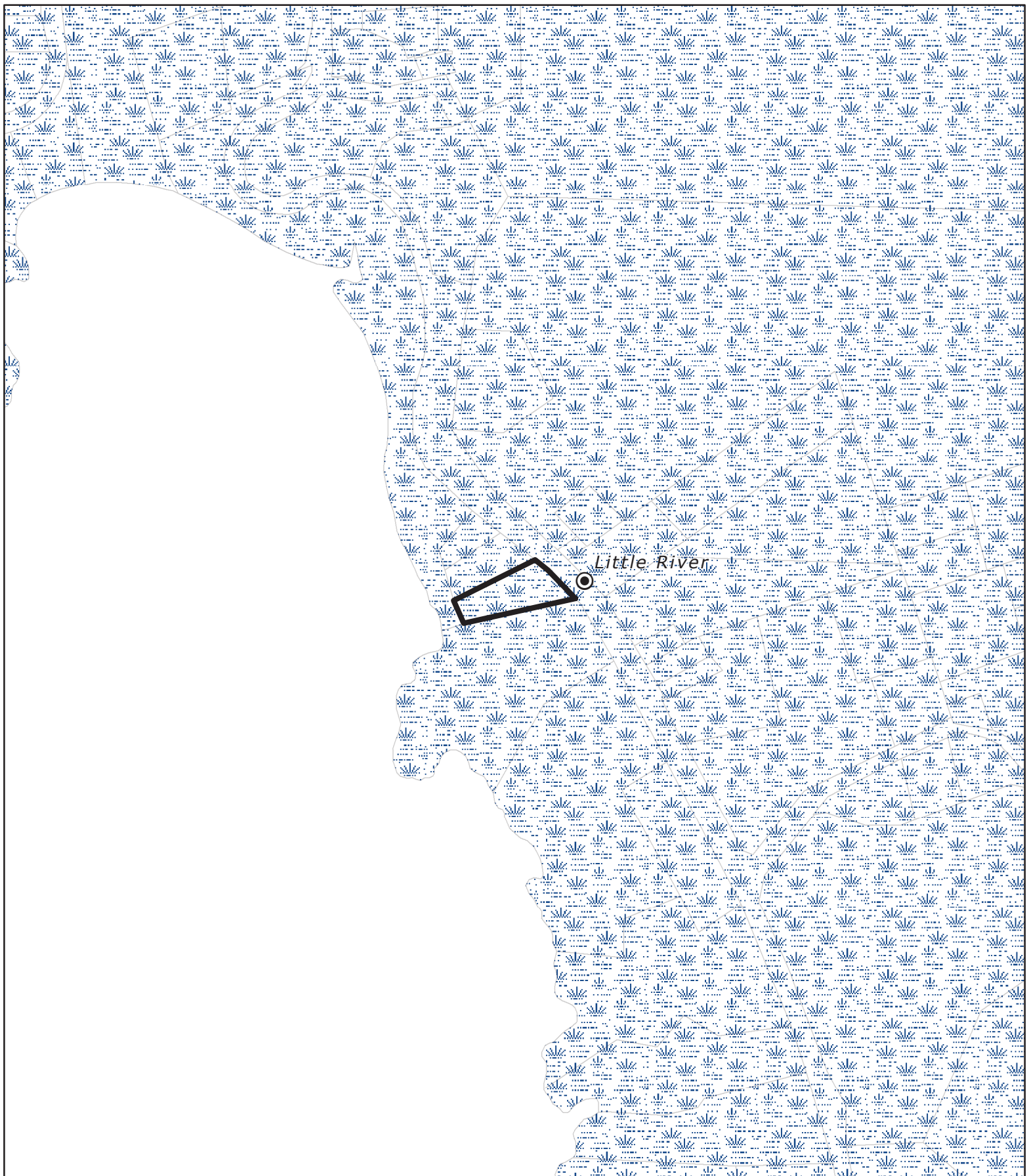
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 Assessors Parcels  
 Shinglemill-Gibney Complex






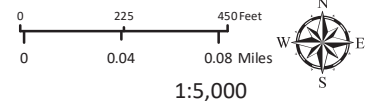
**WESTERN SOIL CLASSIFICATIONS**

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-  Major Towns & Places
-  Marginal Water Resources
-  Assessors' Parcels

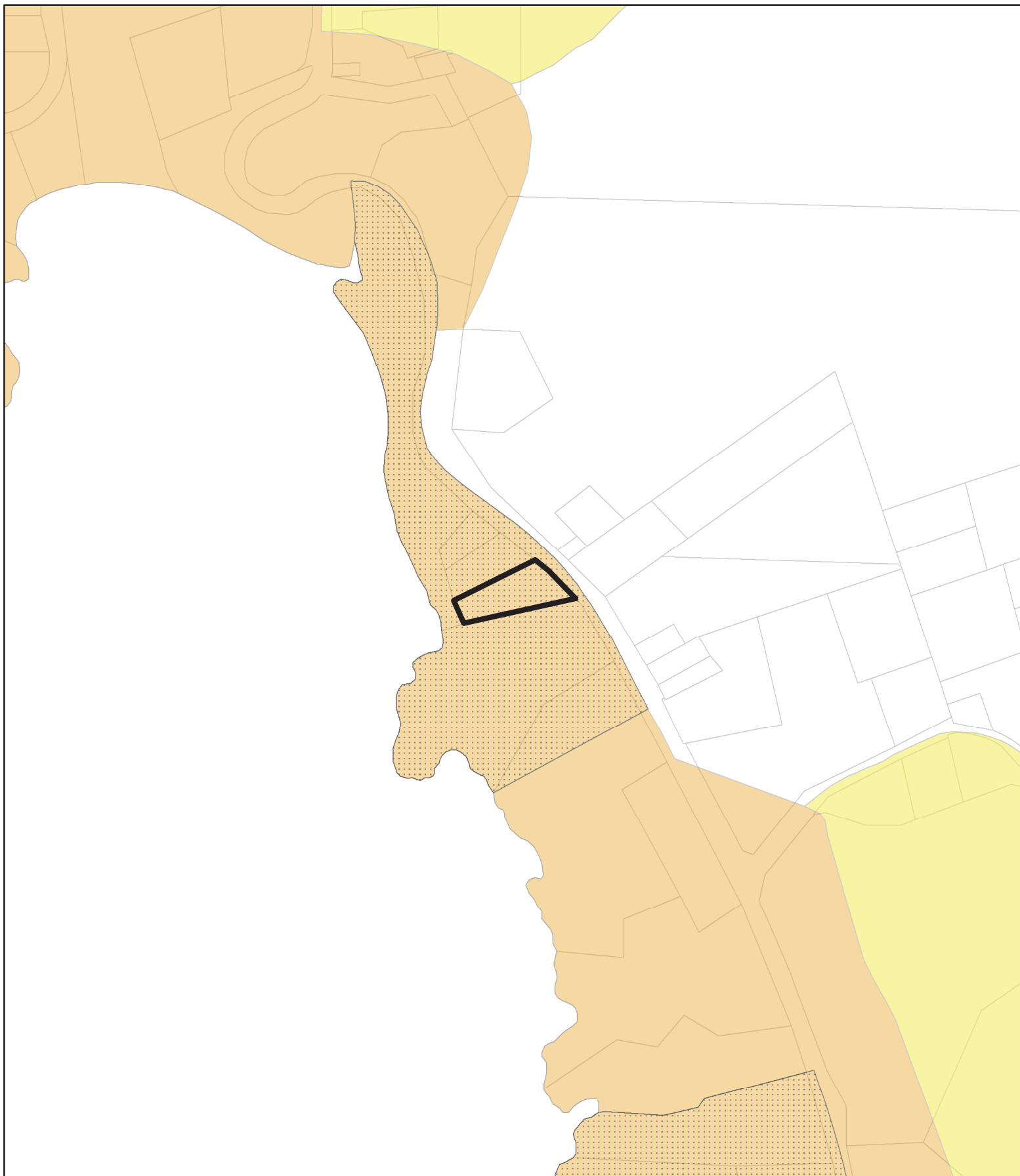


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COASTAL GROUND WATER RESOURCES

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 Tree Removal Area  
 Highly Scenic  
 Highly Scenic (Conditional)

 Assessors Parcels

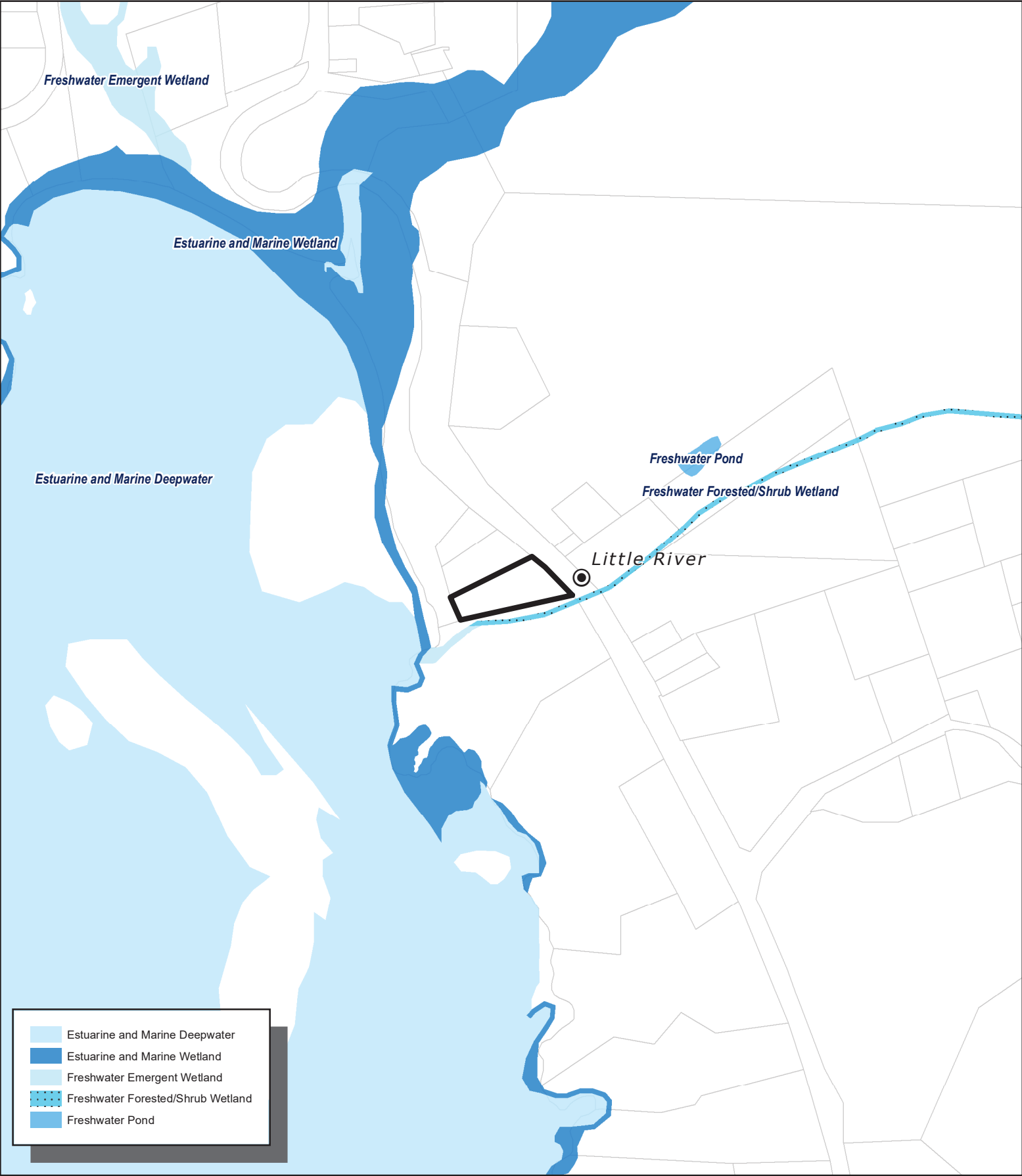
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0 0.04 0.08 Miles



1:5,000

## HIGHLY SCENIC & TREE REMOVAL AREAS

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Estuarine and Marine Deepwater

Estuarine and Marine Wetland

Freshwater Emergent Wetland

Freshwater Forested/Shrub Wetland

Freshwater Pond

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Major Towns & Places

Assessors Parcels

0225450

00.040.08

FeetMiles

N

W

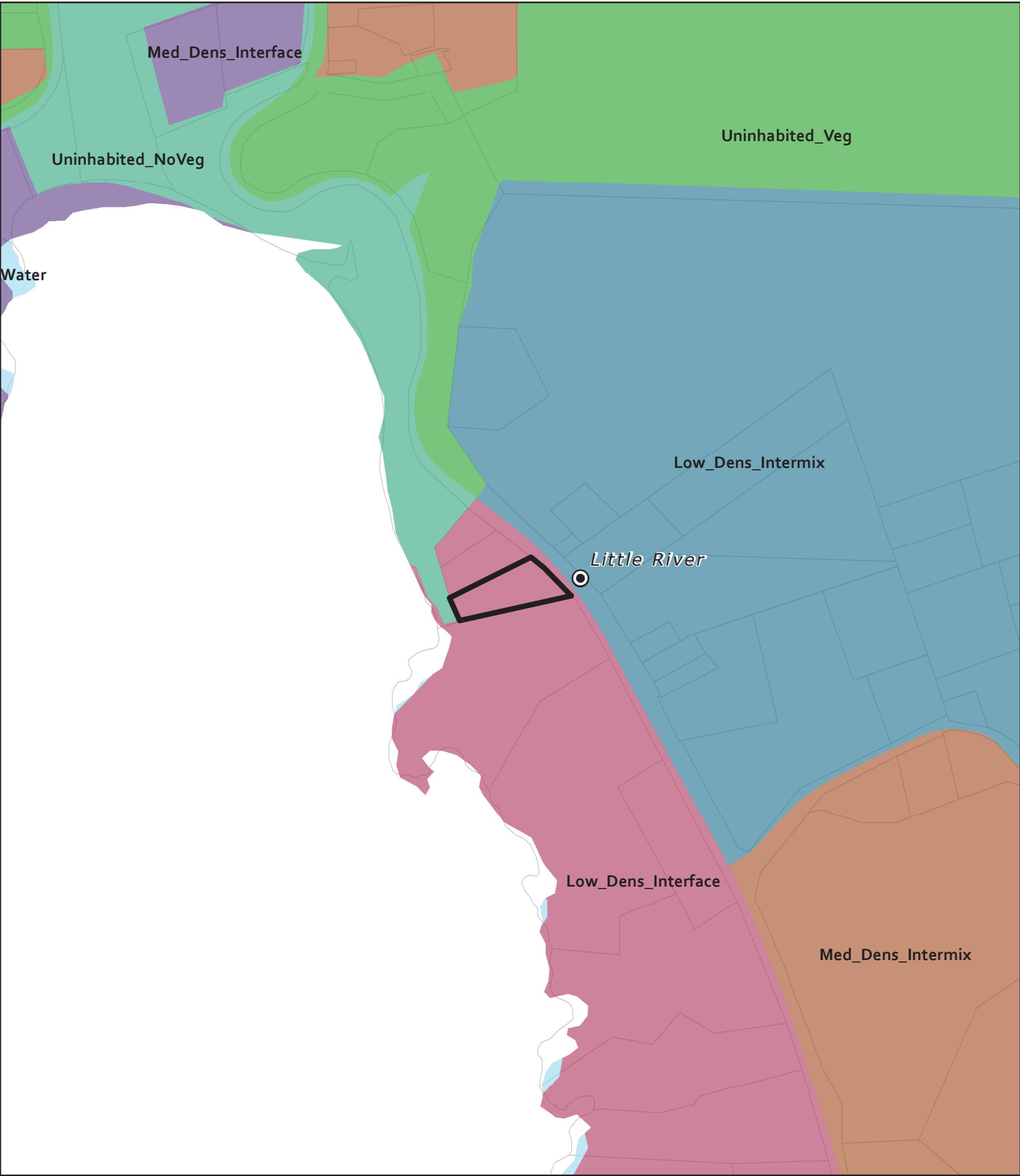
E

S



1:5,000  
WETLANDS

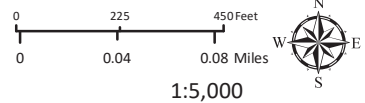
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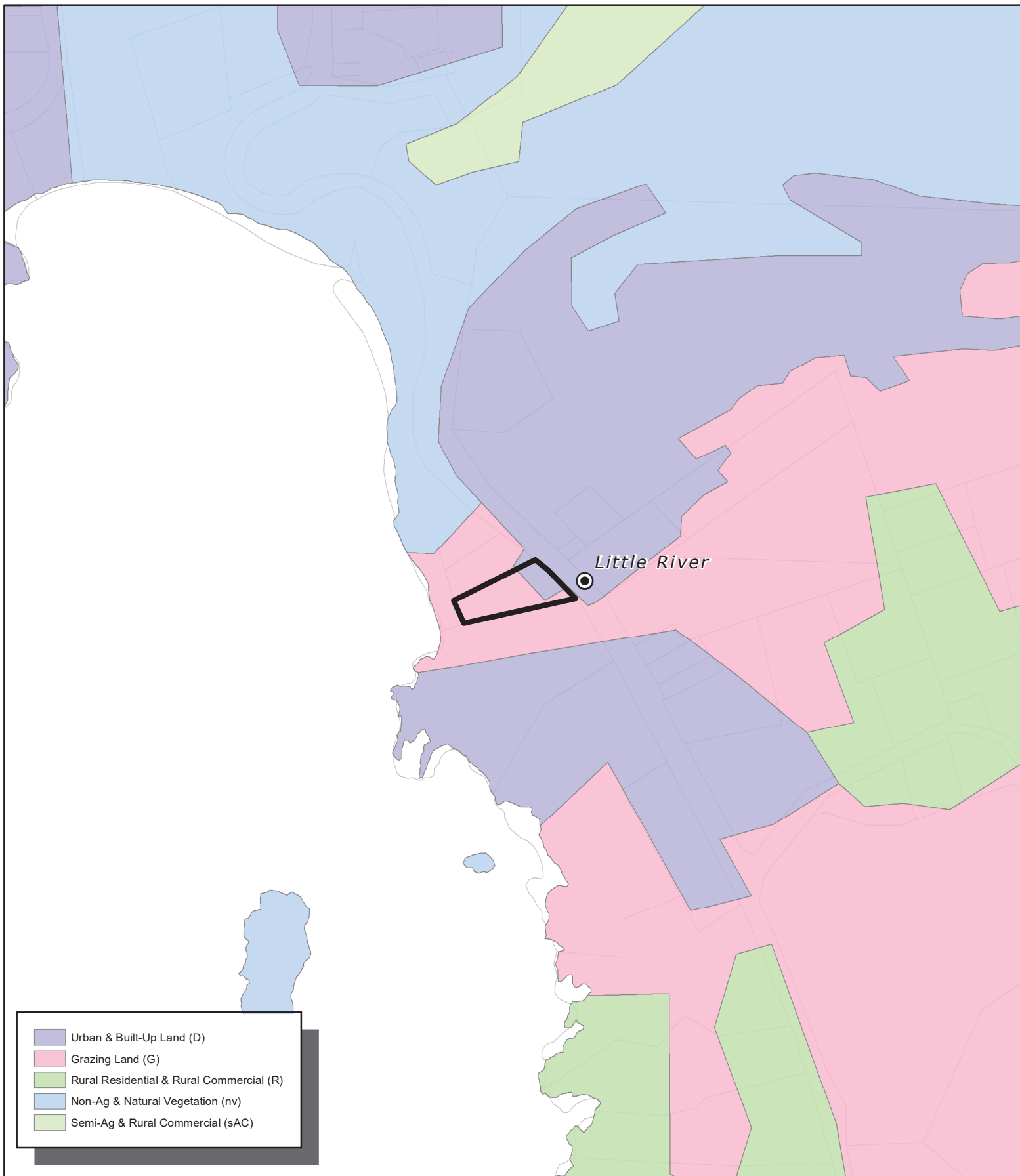
 Major Towns & Places  
 Assessors Parcels



1:5,000

WILDLAND-URBAN INTERFACE

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● Major Towns & Places  
□ Assessors Parcels


0 225 450 Feet  
0 0.04 0.08 Miles  
1:5,000

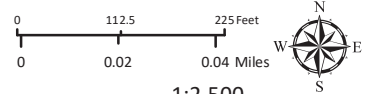
IMPORTANT FARMLANDS

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
**DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES**

# Mendocino Unified

**CASE: EM 2025-0002**  
**OWNER: KIM, Young**  
**APN: 121-280-17**  
**APLCT: Young Kim**  
**AGENT: Debra Lennox**  
**ADDRESS: 7746 N Hwy 1, Little River**

 Assessors Parcels

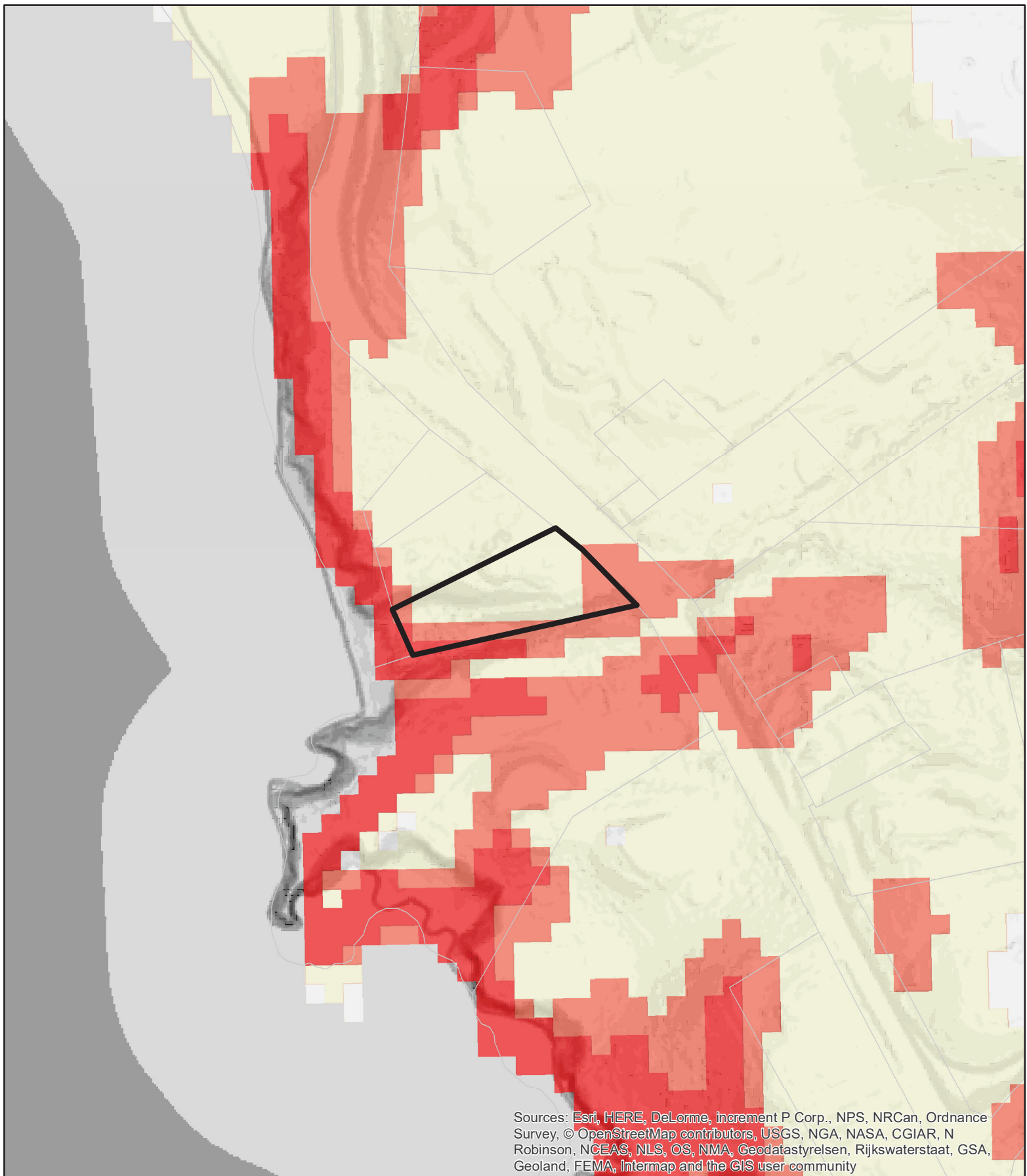


1:2,500

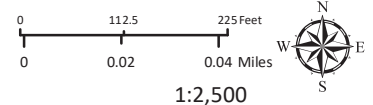
SCHOOL DISTRICT

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES





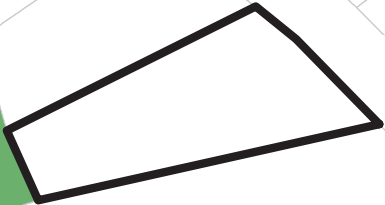
**CASE: EM 2025-0002**  
**OWNER: KIM, Young**  
**APN: 121-280-17**  
**APLCT: Young Kim**  
**AGENT: Debra Lennox**  
**ADDRESS: 7746 N Hwy 1, Little River**





**LANDSLIDE HAZARDS**

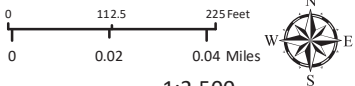
**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
**DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES**

# Van Damme SP



**CASE:** EM 2025-0002  
**OWNER:** KIM, Young  
**APN:** 121-280-17  
**APLCT:** Young Kim  
**AGENT:** Debra Lennox  
**ADDRESS:** 7746 N Hwy 1, Little River

 Assessors Parcels  
 State Parks



1:2,500  
STATE PARKS

**THIS MAP AND DATA ARE PROVIDED WITHOUT WARRANTY OF ANY KIND.**  
DO NOT USE THIS MAP TO DETERMINE LEGAL PROPERTY BOUNDARIES



# EMERGENCY PERMIT PROJECT INTAKE CHECKLIST

The following information and materials must be submitted at the time an emergency permit application is filed with the Planning Division. **Applicants should check off each completed item under the box marked "A" and submit this checklist with the application.**

A	C
<input checked="" type="checkbox"/>	<input type="checkbox"/>

1. **Two (2) Copies** of items a - e, on 8 ½" x 11" paper, collated and stapled into individual application packets.

- a) **EMERGENCY PERMIT APPLICATION FORM** - Please be sure to answer all questions thoroughly and accurately.
- b) **EMERGENCY PERMIT QUESTIONNAIRE** - Please be sure to answer all questions thoroughly and accurately.
- c) **LOCATION MAP** - Use USGS quad maps with parcel boundaries (see attached example).
- d) **SITE PLAN** - drawn to scale (see attached example).
- e) **ARCHITECTURAL/ENGINEERING PLANS & ELEVATIONS FOR THE EMERGENCY WORK** - (if applicable).

A	C
<input checked="" type="checkbox"/>	<input type="checkbox"/>

2. **ARCHITECTURAL/ENGINEERING PLANS & ELEVATIONS FOR THE EMERGENCY WORK - 1 Full-Size Set** (if applicable). Drawn to scale and folded to 8 ½" x 11" size.

A	C
<input checked="" type="checkbox"/>	<input type="checkbox"/>

3. **SIGNED CERTIFICATION AND SITE VIEW AUTHORIZATION FORM - 1 Copy.**

A	C
<input checked="" type="checkbox"/>	<input type="checkbox"/>

4. **SIGNED INDEMNIFICATION AGREEMENT - 1 Copy.**

A	C
<input checked="" type="checkbox"/>	<input type="checkbox"/>

5. **PROOF OF APPLICANT'S LEGAL INTEREST IN THE PROPERTY - 1 Copy.** Proof can be in the form of a current tax statement, title report, lease agreement or other documents showing legal interest to apply for the permit and comply with all conditions of approval. All holders or owners of any other interest of record in the affected property shall be identified on the application and notified in writing of the permit application by the applicant and invited to join as co-applicant(s).

A	C
<input type="checkbox"/>	<input type="checkbox"/>

6. **FILING FEE** - (check with a planner for fee amount). Checks to be made payable to the County of Mendocino.

**COUNTY OF MENDOCINO**  
**DEPT OF PLANNING & BUILDING SERVICES**  
**120 WEST FIR STREET**  
**FORT BRAGG, CA 95437**  
**Telephone: 707-964-5379**

Case No(s) EM 2025-0002  
CDF No(s) TBD  
Date Filed 7/31/2025  
Fee \$ 1,783.00  
Receipt No. \_\_\_\_\_  
Received by Sandy Arellano  
Office Use Only

## EMERGENCY PERMIT APPLICATION FORM

Name of Applicant <b>Young Kim</b>	Name of Owner(s) <b>Young Kim</b>	Name of Agent <b>Debra Lennox</b>
Mailing Address <b>PO Box 500 Mendocino</b>	Mailing Address <b>same</b>	Mailing Address <b>PO Box 798 Mendocino</b>
Telephone Number <b>(408)234-7896</b>	Telephone Number	Telephone Number <b>707-813-7886</b>

**Project Description:**

REPLACE EXISTING FUEL SYSTEM AT SITE; THREE EXISTING UNDERGROUND STORAGE TANKS TO BE REMOVED; ONE NEW 10,000 GALLON TANK TO BE INSTALLED (2-PRODUCT); EXISTING DISPENSERS TO BE REPLACED; ALL FUEL LINE TO BE REPLACED; UPGRADED MONITORING SYSTEM TO BE INSTALLED; NO CHANGES TO LOT DRAINAGE

**Driving Directions**

The site is located on the W (N/S/E/W) side of HIGHWAY 1 (name road)  
approximately .25 MI (feet/miles) N (N/S/E/W) of its intersection with  
LITTLE RIVER AIRPORT RD (provide nearest major intersection).

**Assessor's Parcel Number(s)**

121-280-1700

**Parcel Size**

1.16

☐ Square Feet  
☒ Acres

**Street Address of Project**

7746 North Hwy 1 Little River, CA

**Please note:** Before submittal, please verify correct street address with the Planning Division in Ukiah.

# EMERGENCY PERMIT

## APPLICATION QUESTIONNAIRE

The purpose of this questionnaire is to relate information concerning your application to the Planning & Building Services Department and other agencies who will be reviewing your project proposal. The more detail that is provided, the easier it will be to promptly process your application. Please answer all questions. For questions which do not pertain to your project, please indicate "Not Applicable" or "N/A".

1. **NATURE OF THE EMERGENCY NARRATIVE** (use additional pages if necessary).

a) Describe the nature, cause and location of the emergency.

State Water Resources Control Board:Pursuant to Health and Safety Code, chapter 6.7, section 25292.05,

all single-walled underground storage tanks (USTs) and nonexempt single-walled piping (SWTs) must be permanently closed by December 31, 2025. There are no exceptions.

b) Describe the remedial protective or preventive work required to deal with the emergency.

REPLACE EXISTING FUEL SYSTEM- UNDERGROUND TANKS & LINES &  
ABOVE GROUND DISPENSERS WITH NEW 10,000 GAL COMPLIANT TANK

c) Describe the circumstances during the emergency that justify the course(s) of action taken, including the probable consequences of failing to take action.

POTENTIAL FUEL LEAK INTO ENVIRONMENT; STATE MANDATE TO CLOSE  
BUSINESS IF NOT COMPLETED ON TIME

d) Describe any secondary improvements such as wells, septic systems, grading, vegetation removal, roads, etc. that are necessary to deal with the emergency.

NONE

2. Are there existing structures on the property? ☒ Yes ☐ No



SUBMIT ONLY ONE COPY

## **INDEMNIFICATION AND HOLD HARMLESS**

ORDINANCE NO. 3780, adopted by the Board of Supervisors on June 4, 1991, requires applicants for discretionary land use approvals, to sign the following Indemnification Agreement. Failure to sign this agreement will result in the application being considered incomplete and withheld from further processing.

### **INDEMNIFICATION AGREEMENT**

As part of this application, applicant agrees to defend, indemnify, release and hold harmless the County of Mendocino, its agents, officers, attorneys, employees, boards and commissions, as more particularly set forth in Mendocino County Code Section 1.04.120, from any claim, action or proceeding brought against any of the foregoing individuals or entities, the purpose of which is to attack, set aside, void or annul the approval of this application or adoption of the environmental document which accompanies it. The indemnification shall include, but not be limited to, damages, costs, expenses, attorney fees or expert witness fees that may be asserted by any person or entity, including the applicant, arising out of or in connection with the approval of this application, whether or not there is concurrent, passive or active negligence on the part of the County, its agents, officers, attorneys, employees, boards and commissions.

Date: \_\_\_\_\_

7/30/2025

Young Kim

  
Applicant

SUBMIT ONLY ONE COPY

## CERTIFICATION AND SITE VIEW AUTHORIZATION

1. I hereby certify that I have read this completed application and that, to the best of my knowledge, the information in this application, and all attached appendices and exhibits, is complete and correct. I understand that the failure to provide any requested information or any misstatements submitted in support of the application shall be grounds for either refusing to accept this application, for denying the permit, for suspending or revoking a permit issued on the basis of such misrepresentations, or for seeking of such further relief as may seem proper to the County.
2. I hereby grant permission for County Planning and Building Services staff and hearing bodies to enter upon and site view the premises for which this application is made in order to obtain information necessary for the preparation of required reports and render its decision.

Young Kim  
Owner/Authorized Agent

7/30/2025  
Date

NOTE: IF SIGNED BY AGENT, OWNER MUST SIGN BELOW.

### AUTHORIZATION OF AGENT

I hereby authorize Debra Lennox to act as my representative and to bind me in all matters concerning this application.

Young Kim  
Owner

7/30/2025  
Date

## MAIL DIRECTION

To facilitate proper handling of this application, please indicate the names and mailing addresses of individuals to whom you wish correspondence and/or staff reports mailed if different from those identified on Page One of the application form.

Name	Name	Name
Mailing Address	Mailing Address	Mailing Address



**Sara Pierce**  
Acting Auditor-Controller/Treas.-Tax Collector  
501 Low Gap Rd, Room 1060  
Ukiah, CA 95482  
[www.mendocinocounty.gov/ttc](http://www.mendocinocounty.gov/ttc)

**MENDOCINO COUNTY SECURED TAX STATEMENT**  
FOR FISCAL YEAR JULY 1, 2024 THROUGH JUNE 30, 2025  
**FOR TAX YEAR 2024 - 2025**

Print Date: 10/10/2024

**PROPERTY INFORMATION**

BILL NUMBER: 1736864 TAX RATE AREA: 104004  
PARCEL NUMBER: 1212801700 ACRES: 1.1600  
LOCATION: 7746 N HWY 1 LITTLE RIVER CA  
LIEN DATE OWNER: KIM YOUNG WEON & JI HYUN

\*\*\*\*\*AUTO\*\*SCH 5-DIGIT 95472

AA 6578 1/1\_P34 T30



KIM YOUNG WEON & JI HYUN  
PO BOX 500  
MENDOCINO CA 95460-0500

SEE REVERSE FOR IMPORTANT INFORMATION



See reverse for electronic payment information

**TELEPHONE NUMBERS**

Tax Collection (707) 234-6875  
Address Change (707) 234-6800  
Exemptions (707) 234-6801  
Assessed Values (707) 234-6800  
Tax Rates (707) 234-6859  
Personal Property (707) 234-6815

**COUNTY VALUES AND EXEMPTIONS**

VALUE DESCRIPTION	VALUE
Land	\$665,627
Structures	\$472,197
Business Personal Property	\$34,951
Late Filing Penalty - R&T 463	\$3,495
Net Value	\$1,176,270

**VOTER APPROVED TAXES, TAXING AGENCY DIRECT CHARGES AND SPECIAL ASSESSMENTS**

TELEPHONE NUMBERS	DESCRIPTION	TAX RATE PERCENT	AGENCY TAXES/CHARGES
707-234-6859	County Wide Base Tax	1.000	\$11,762.68
707-961-1234	Mendocino Cst Hospital BIR	0.011	\$129.39
707-937-5868	Mendocino Unified Bond	0.116	\$1,364.48
707-476-4172	Mendo College/Rdwd JC Bond	0.008	\$94.11
510-725-2930	Mendo Coast Hosp Measure C	0.000	\$144.00
707-937-0131	Mendo Fire Assessment	0.000	\$630.00
707-937-5868	Mendo USD Maint Asmnt	0.000	\$30.00

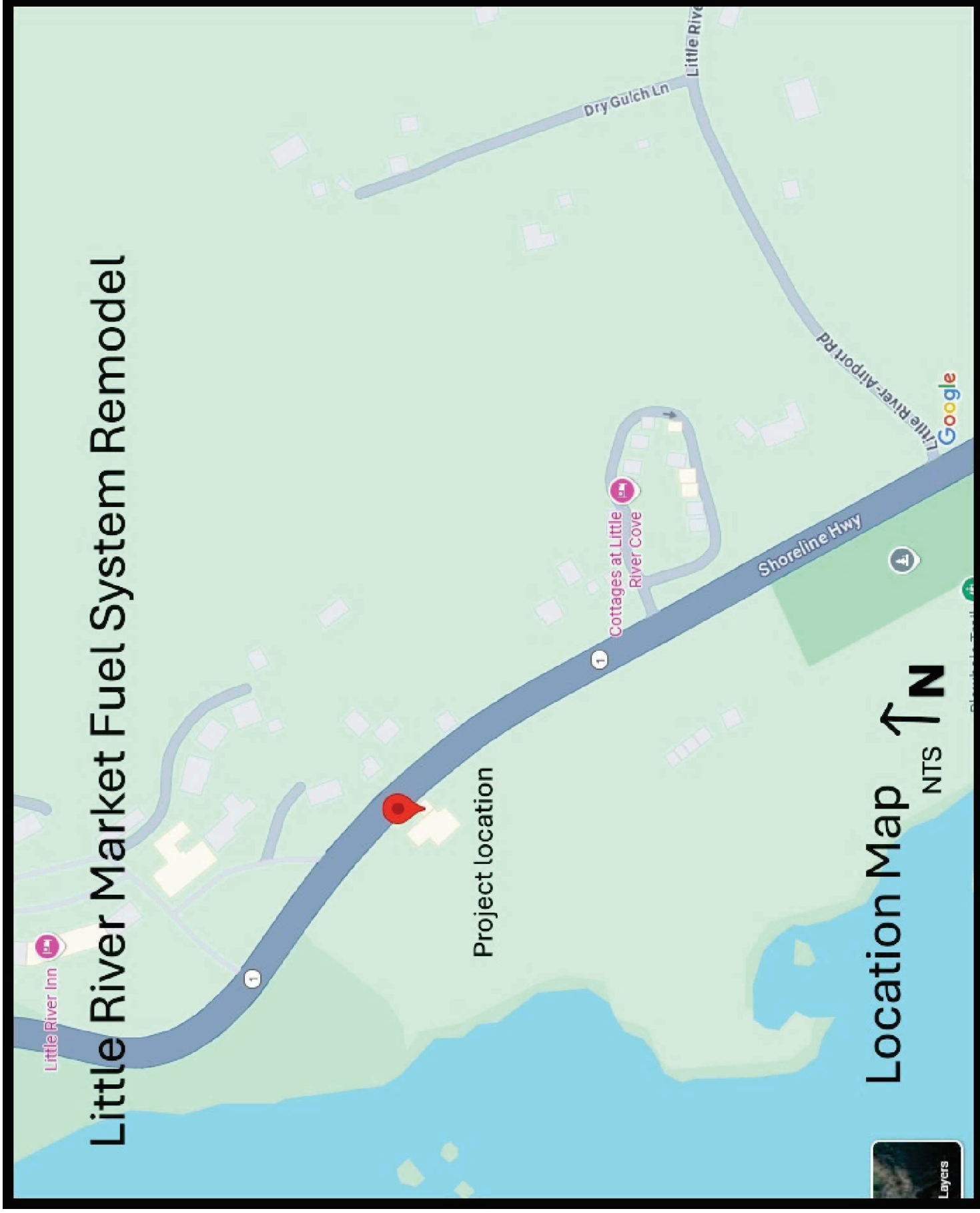
DUE AND PAYABLE ON	11/01/2024
1ST INSTALLMENT	7,077.33
DELINQUENT AFTER	12/10/2024

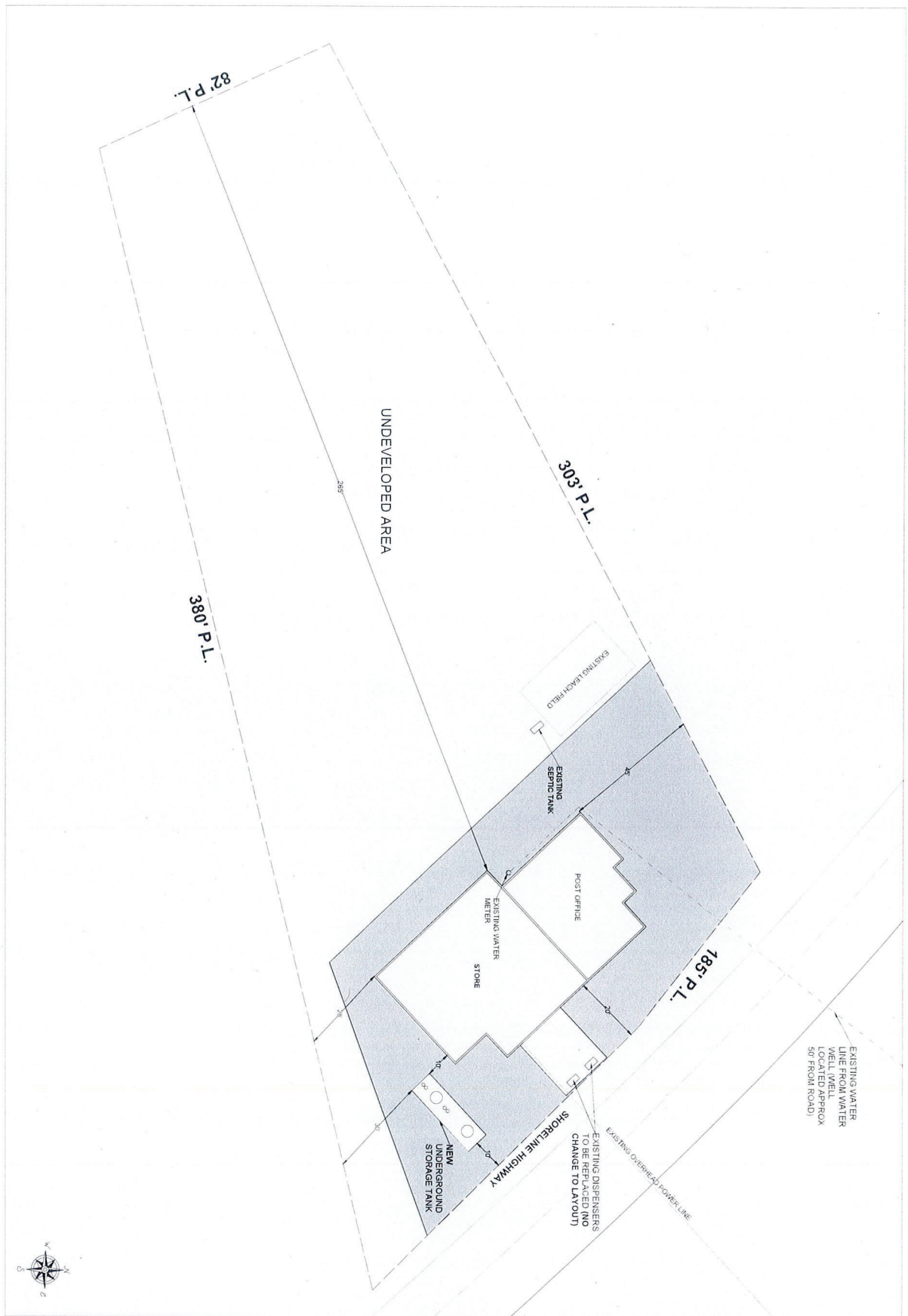
DUE AND PAYABLE ON	02/01/2025
2ND INSTALLMENT	7,077.33
DELINQUENT AFTER	04/10/2025

TOTAL TAXES	14,154.66
-------------	-----------



# Little River Market Fuel System Remodel





2 OF 4

SCALE	AS SHOWN
DATE	5-9-2025
PROJECT	PROJECT

Little River Fuel System Remodel  
Parcel Map  
7746 CA-1, Little River, CA - 95456

Cloverdale, CA

The  
Trevor James  
Ambrosini  
Company



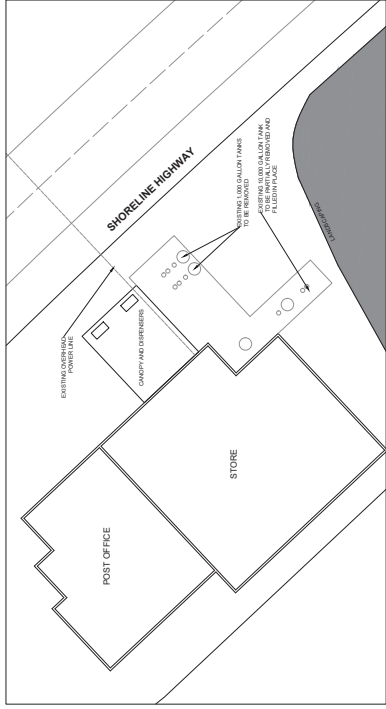
REVISION	DATE

# LITTLE RIVER MARKET FUEL SYSTEM REMODEL

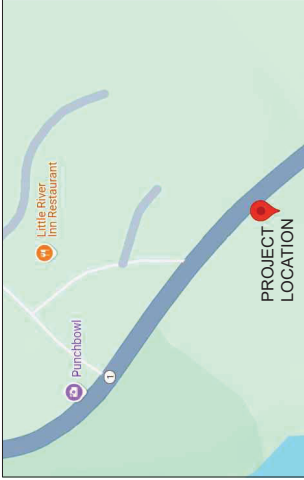
7746 CA-1  
LITTLE RIVER, CA  
95456

- SCOPE OF WORK**
1. REPLACE EXISTING FUEL SYSTEM AT SITE
  2. THREE EXISTING UNDERGROUND STORAGE TANKS TO BE REMOVED
  3. EXISTING UNDERGROUND STORAGE TANKS TO BE REMOVED (2-PRODUCT)
  4. EXISTING DISPENSERS TO BE REPLACED
  5. ALL FUEL LINE TO BE REPLACED
  6. FUEL MONITORING SYSTEM TO BE INSTALLED
  7. NO CHANGES TO LOT DRAINAGE
- GENERAL NOTES**
1. **CONTRACTOR RESPONSIBILITIES**
    - 1.1. CONTRACTOR TO VERIFY ALL PROPERTY LINES, DIMENSIONS AND GRADES DENOTED THROUGHOUT PLANS
    - 1.2. CONTRACTOR TO CONTACT UNDERGROUND SERVICE ALERT BEFORE ANY EXCAVATION
    - 1.3. CONTRACTOR TO CORRESPOND WITH A REPRESENTATIVE OF THE DESIGN CONSULTANTS BEFORE, DURING AND AFTER PROJECT IF ANY DISCREPANCY IS OBSERVED
    - 1.4. CONTRACTOR TO PROVIDE AS-BUILT DRAWINGS AT COMPLETION OF PROJECT IF ANY CHANGES ARE MADE TO GENERAL LAYOUT OR COMPONENTS USED
    - 1.5. DRAWINGS ARE CONSIDERED REPRESENTATIONAL ONLY UNTIL APPROVAL FROM ALL LOCAL AGENCIES
    - 1.6. ALL WORK PERFORMED TO CONFORM TO THE MOST CURRENT EDITION OF THE BUILDERS CODE, ELECTRICAL CODE, FIRE CODE AND ANY OTHER CONSTRUCTION REQUIREMENTS
  2. **INSPECTIONS**
    - 2.1. CONTRACTOR TO CORRESPOND WITH ALL LOCAL AGENCIES AND SCHEDULE APPROPRIATE INSPECTIONS THROUGHOUT PROJECT
    - 2.2. CONTRACTOR TO PROVIDE ACCESS TO ALL EXISTING AND NEW UNDERGROUND TANK AND FUEL PIPES PER ALL ABOVE GROUND STORAGE TANK INSTALLATION AND RETROFITTING RECOMMENDATIONS
    - 2.3. CONTRACTOR TO CONDUCT PERFORMANCE TESTS ON ALL NEW FUEL COMPONENTS AND EXISTING FUEL COMPONENTS
    - 2.4. APPROVED DRAWINGS AND PERMIT CARDS FROM ALL LOCAL AGENCIES TO BE ONSITE AT ALL TIMES DURING PROJECT
  3. **SITE SAFETY**
    - 3.1. ALL LOCAL AGENCIES ARE TO BE CONTACTED IN THE EVENT SOIL OR GROUNDWATER CONTAMINATION IS DISCOVERED
    - 3.2. CONTRACTOR TO ADHERE TO ALL SITE SAFETY REGULATIONS DURING COURSE OF PROJECT
    - 3.3. CONTRACTOR TO PROVIDE AND MAINTAIN ILLNESS AND INJURY PREVENTION PLAN PRIOR TO AND DURING COURSE OF PROJECT
    - 3.4. CONTRACTOR TO PROVIDE AND MAINTAIN SITE SAFETY PLAN PRIOR TO AND DURING COURSE OF PROJECT
    - 3.5. CONTRACTOR ARE TO REMAIN OPEN WHILE CONTRACTOR IS NOT ONSITE. CORRESPONDENCE WITH A REPRESENTATIVE OR OWNER OF THE PROPERTY IS REQUIRED TO ENSURE CONTINUOUS SITE SAFETY
    - 3.6. FIRE EXTINGUISHER TO BE AVAILABLE AT ALL TIMES DURING PROJECT
    - 3.7. FIRST AID KIT AND FIRST AID TRAINING TO BE AVAILABLE
    - 3.8. ALL DEMO AND INSTALL TO CORRESPOND WITH THE REQUIREMENTS OF THE 2022 CALIFORNIA FIRE CODE CHAPTER 23 AND CHAPTER 33
  4. **SUMP AND TRENCH PENETRATIONS**
    - 4.1. REFER TO MANUFACTURER SPECIFICATIONS FOR ALL SUMP AND TRENCH PENETRATIONS
    - 4.2. SUMP AND TRENCH PENETRATIONS TO BE WATERTIGHT AND COMPATIBLE WITH SUBSTANCES PROPOSED
  5. **RECOMMENDED COMPONENTS**
    - 5.1. ALL RECOMMENDED COMPONENTS TO BE INSTALLED PER MANUFACTURERS SPECIFICATIONS
    - 5.2. DESIGN CONSULTANTS RECOMMENDED COMPONENTS TO BE SUBMITTED BY CONTRACTOR PRIOR TO START OF PROJECT
  6. **EROSION CONTROL**
    - 6.1. EROSION CONTROL MATERIALS (MATTES, SANDBAGS, VISQUEEN, ETC) TO BE INSTALLED PRIOR TO ANY EXCAVATION
    - 6.2. EROSION CONTROL MATERIALS SHOULD A RAIN EVENT OCCUR. BEST MANAGEMENT PRACTICES SHALL BE IMPLEMENTED
    - 6.3. ALL EXCAVATION SPOILS AWAITING OFF-HAUL SHALL BE BURRIED TO WRAPPED IN EROSION CONTROL MATERIALS
    - 6.4. CONTRACTOR TO CORRESPOND WITH A REPRESENTATIVE OR OWNER OF THE PROPERTY TO DETERMINE SAFEST AREA TO STORE EXCAVATION SPOILS. CONSTRUCTION MATERIALS AND EQUIPMENT DURING COURSE OF PROJECT
- ADDITIONAL NOTES**
1. THESE BASED ON SIMILAR APPROVED AND CONSTRUCTED PROJECTS
  2. DESIGN CONSULTANTS ASSUME NO RESPONSIBILITY FOR FUNCTIONALITY OF COMPONENTS SPECIFIED OR INSTALLED BY OTHERS
  3. CONTRACTOR SHALL INFORM DESIGN CONSULTANTS OF ANY DISCREPANCY IN PLANS PRIOR TO START OF PROJECT

SITE PLAN AND FUEL SYSTEM PREPARED BY:  
THE TREVOR JAMES AMBROSINI COMPANY



EXISTING SITE CONDITIONS



SATELLITE MAP



PARCEL MAP

SHEET INDEX	
SHEET 1	TITLE SHEET
SHEET 2	PARCEL MAP
SHEET 3	FUEL PLAN
SHEET 4	ELECTRICAL PLAN



REVISION	DATE

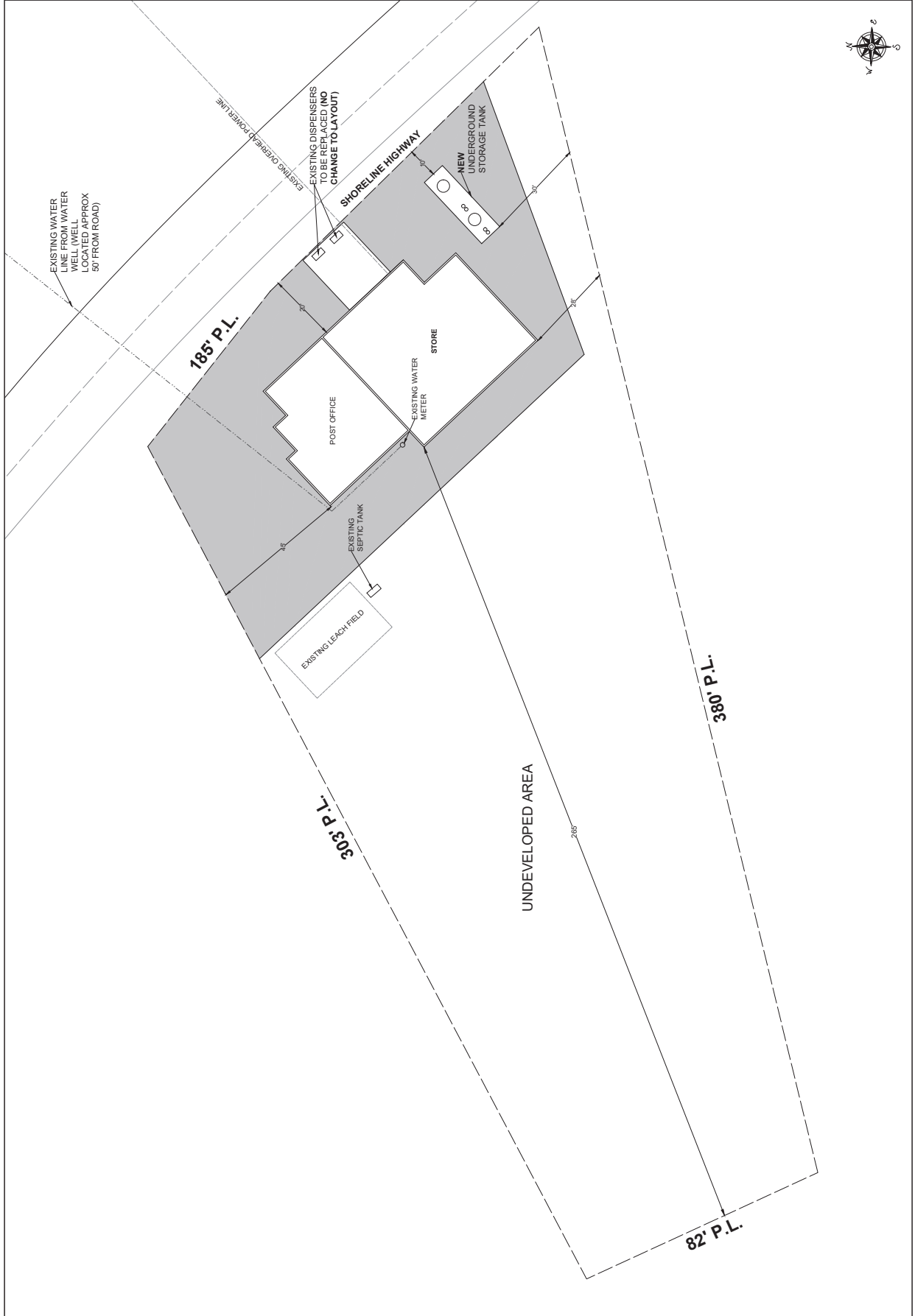


The  
Trevor James  
Ambrosini  
Company

Cloverdale, CA

Little River Fuel System Remodel  
Parcel Map  
7746 CA-1, Little River, CA - 95456

FOR NAME:	DATE:
SHEET NAME:	5-9-2025
PROJECT:	JOHN NUMBER:
SCALE:	NO SCALE
SHEET NO:	2 OF 4



REVISION	DATE



The  
Trevor James  
Ambrosini  
Company

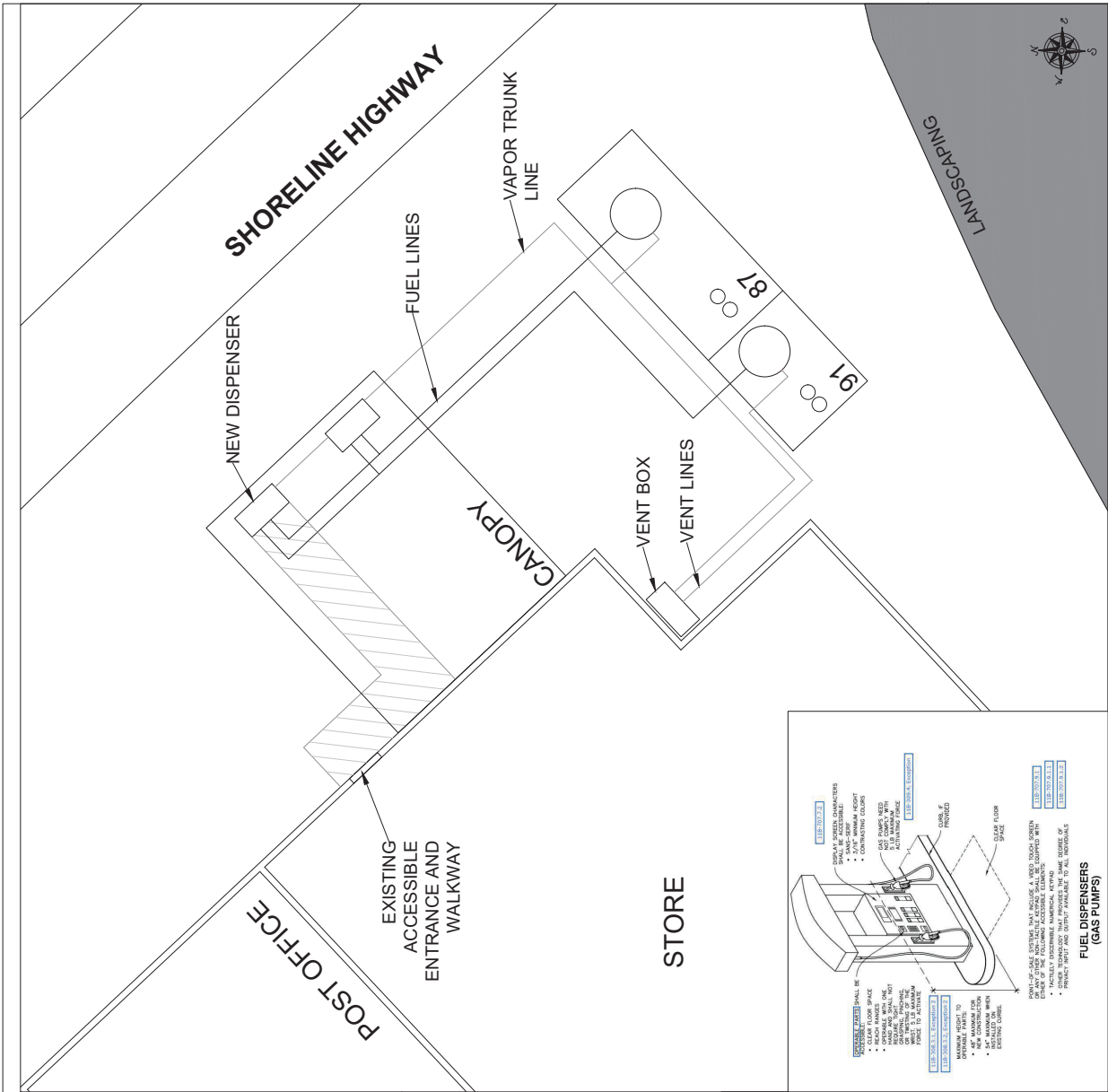
Cloverdale, CA

Little River Fuel System Remodel  
Fuel Plan  
7746 CA-1, Little River, CA - 95456

JOB NAME:  
SHEET NUMBER  
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PROJECT:

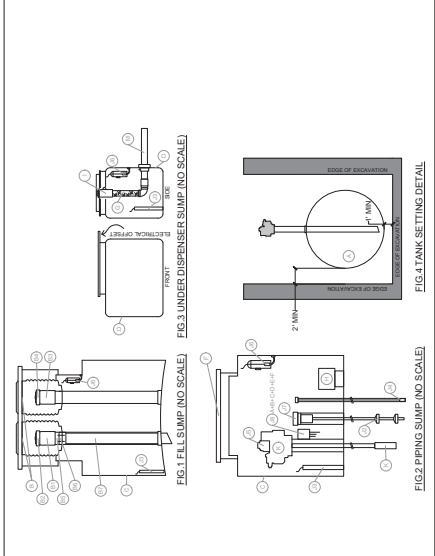
SCALE: NO SCALE  
SHEET NO.

3 OF 4



- NOTES ON FUEL SYSTEM**
- THREE EXISTING UNDERGROUND FUEL TANKS TO BE REMOVED AND REPLACED WITH ONE 1604
  - DISCONNECT DRAIN AND REMOVE EXISTING DISPENSERS FUEL PIPES AT TURBINE SUMP DRAIN, ALL ASSOCIATED PLUMBING
  - WALL MOV FIBERGLASS PIPE
  - TRENCH FOR FUEL VAPORVENT LINES IN FIELD TRAVEL FOR FUEL VAPORVENT LINES IN FIELD
  - ALL UDGS TO BE REPLACED WITH DOUBLE WALL SUMPS MANUFACTURED BY WESTERN
  - ALL DISPENSERS TO BE REPLACED WITH WAYNE OVATION DISPENSERS (ADA ACCESSIBLE)
  - ALL FUEL AND CLEANING MATERIALS TO BE COLLECTED IN TWO TANKS AND DISPOSED OF AT A LICENSED DISPOSAL FACILITY
  - TWO EXISTING UNDERGROUND STORAGE TANKS TO BE PURGED, CLEANED AND REMOVED
  - UNDERGROUND STORAGE TANKS TO BE REMOVED ARE FREE OF HAZARDOUS VAPORS AND VERIFIED "NERT" BEFORE REMOVAL
  - VERIFY LEL AND UEL MEET LOCAL AGENCY REQUIREMENTS
  - TWO UNDERGROUND STORAGE TANKS TO BE LABELED "EMPTY/CLEAN/INERT" AND HAULED AS NON-HAZARDOUS WASTE TO A METAL SCRAP
  - ONE UNDERGROUND STORAGE TANK (LOCATED UNDER BUILDING) TO BE PARTIALLY REMOVED AND FILLED IN PLACE
- NOTES ON MONITORING SYSTEM**
- NEW SUMP SENSORS TO BE INSTALLED
  - VACUUM SENSORS TO BE INSTALLED
- Work to be performed by:**  
Bascam Construction Co.  
State Contractor License: 00168923  
ICC License (UST Install/Retrofitting): 5238454

- EQUIPMENT LIST**
- (A) VEEDER ROOT 794 350-208 SUMP
  - (B) VEEDER ROOT 794 350-430 ANNULAR SPACE SENSOR
  - (C) VEEDER ROOT 794 350-303 HYDROSTATIC SENSOR FOR DOUBLE WALL SUMPS
  - (D) VEEDER ROOT 794 350-303 HYDROSTATIC SENSOR FOR DOUBLE WALL SUMPS 4" CAPS AND BNC KIT (EVR APPROVED)
  - (E) VEEDER ROOT 330020-472 VACUUM SENSOR KIT FOR STEEL TANK
  - (F) VEEDER ROOT 330020-488 7" NPT VACUUM SENSOR KIT FOR STEEL TANK
  - (G) VEEDER ROOT 578008-657 BARBED TEE VALVE FOR VACUUM SENSOR
  - (H) VEEDER ROOT 578008-648 3 WAY BALL VALVE FOR VACUUM SENSOR
  - (I) VEEDER ROOT VEEDER 3323 10-003 VACUUM HOSE
  - (J) VEEDER ROOT 7-INP SMART SENSOR AND 4" X 3" 2" EXTRACTOR WITH CAGE
  - (K) RED JACKET 1 INP SUBMERSIBLE PUMP AND RISER
  - (L) 2" PRESSURE/VACUUM VENT CAPS (EVR SATELLITE INLET)
  - (M) VEEDER ROOT TLS-450 PLUS CONSOLE
  - (N) VEEDER ROOT 0.1 GPH MAG PLUS MAG PROBE FOR 10" DIAMETER TANK
- NOTES ON MONITORING SYSTEM**
- NEW SUMP SENSORS TO BE INSTALLED
  - VACUUM SENSORS TO BE INSTALLED



FUEL DISPENSERS (GAS PUMPS)

FIG. 1 FILL SUMP (NO SCALE)

FIG. 2 PUMP SUMP (NO SCALE)

FIG. 3 UNDER DISPENSER SUMP (NO SCALE)

FIG. 4 TANK SETTING DETAIL

FIG. 5 PIPING SUMP (NO SCALE)

FIG. 6 TANK SETTING DETAIL

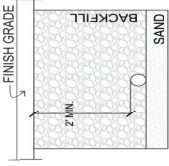


FIG. 2 ELECTRICAL TRENCH DETAIL

- NOTES ON ELECTRICAL**
1. SEE CEC-2013 SECTION 514 FOR NEW 125 AMP SUB-PANEL TO BE INSTALLED
  2. NEW 125 AMP SUB-PANEL TO BE INSTALLED
  3. ALL CONDUIT BELOW 2' FROM FINISH GRADE TO BE PVC SCH40. ALL CONDUIT ABOVE 2' FROM FINISH GRADE TO BE RMC
  4. ALL METAL CONDUITS TO BE GROUNDING AND BONDED PER CEC 514.16
  5. NEW 125 AMP SUB-PANEL TO BE PER CEC-2013 514.9(A)(B)

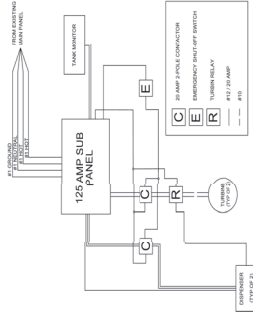


FIG. 3 WIRING DIAGRAM

Project: Little River Fueling  
Author: Todd Smith  
Date: 3/19/2025  
Sheet Name: E2

#### ELECTRICAL DETAILS

304 C ST.  
EUREKA, CA  
95502  
707.445-5474  
LIC. 759471  
OFFICE@COLUMBIAN-ELECTRIC.COM

STORE

SHORELINE HIGHWAY

NEW DISPENSERS

NEW 3 COMPARTMENT TANK

VENT BOX  
ELEC STUB OUT  
LOW VOLTAGE STUB OUT

CONDUIT AND CABLE SCHEDULE					REMARKS	
CONDUIT TYPE	CONDUIT SIZE	CABLE SIZE	FROM	TO		
PVC	3/4" INCH	(5) #12 (1) #12 GND (2) 182 COMM	DISPENSER #1 ELECTRICAL GUTTER	DISPENSER #1 DISPENSER		
PVC	3/4" INCH	(5) #12 (1) #12 GND (2) 182 COMM	DISPENSER #2 ELECTRICAL GUTTER	DISPENSER #2 DISPENSER		
PVC	3/4" INCH	(2) #12 (1) #12 GND	REGULAR STP TANK FILLER ELECTRICAL GUTTER	REGULAR STP SUMP		
PVC	3/4" INCH	(2) #12 (1) #12 GND	LOW VOLTAGE ELECTRICAL GUTTER	SUPER STP SUMP		
PVC	3/4" INCH	(2) 182 SENSOR CABLES	LOW VOLTAGE ELECTRICAL GUTTER	REGULAR STP SUMP		CABLE: PROBE VAC. ANNULAR, SUMP, BRINE, PILD
PVC	3/4" INCH	(2) 182 SENSORS	LOW VOLTAGE ELECTRICAL GUTTER	REGULAR FILL SUMP		CABLE: SUMP, BRINE
PVC	1" INCH	(4) 182 CABLES	LOW VOLTAGE ELECTRICAL GUTTER	DISPENSER #1 & #2 SUMPS		CABLE: 2) SUMP, 2) BRINE
PVC	1" INCH	(4) 182 SENSORS	LOW VOLTAGE ELECTRICAL GUTTER	DISPENSER #1 & #2 SUMPS		CABLE: PROBE VAC. ANNULAR, SUMP, BRINE, PILD
PVC	3/4" INCH	(2) 182 SENSOR CABLES	LOW VOLTAGE ELECTRICAL GUTTER	SUPER STP SUMP		CABLE: SUMP, BRINE
PVC	3/4" INCH	(2) 182 SENSORS	LOW VOLTAGE ELECTRICAL GUTTER	SUPER FILL SUMP		

#### Sheet Description

### Electrical Site Plan

Project: Little River Fueling  
Author: Todd Smith  
Date: 3/19/2025  
Sheet Name: E1



## **EXISTING FUEL SYSTEM DEMO PLAN**

1. ALL WORK TO BE PERFORMED TO FOLLOW **API 1604**
2. DISCONNECT, DRAIN AND REMOVE EXISTING DISPENSERS
3. DISCONNECT FUEL PIPE AT TURBINE SUMP, DRAIN, PURGE AND TRIPLE RINSE
4. REMOVE FUEL LINES
5. TRENCH FROM TANK PIT TO DISPENSERS (FOLLOW EXISTING FUEL LINE PATH)
6. COLLECT SOIL SAMPLES FROM UDC LOCATIONS AND EVERY 20 LINEAR FEET OF FUEL LINE TRENCH
7. TEST SOIL SAMPLES PER LOCAL AGENCY RECOMMENDATIONS
8. ALL FUEL AND CLEANING MATERIALS TO BE COLLECTED IN DOT DRUMS AND DISPOSED OF AT A CERTIFIED DISPOSAL FACILITY
9. TWO EXISTING UNDERGROUND STORAGE TANKS TO BE PURGED, CLEANED AND REMOVED
10. CONTRACTOR TO VERIFY ALL TANKS BEING REMOVED ARE FREE OF HAZARDOUS VAPORS AND VERIFIED "INERT" BEFORE REMOVAL
11. VERIFY LEL AND UEL MEET LOCAL AGENCY STANDARDS
12. TWO UNDERGROUND STORAGE TANKS TO BE LABELED "EMPTY/CLEAN/INERT" AND HAULED AS NON-HAZARDOUS WASTE TO A METAL SCRAP YARD
13. ONE UNDERGROUND STORAGE TANK (LOCATED UNDER BUILDING) TO BE PARTIALLY REMOVED AND FILLED IN PLACE

### **Work to be performed by:**

Beacom Construction Co

State Contractor License: 00168923

ICC License (UST Install/Retrofitting): 5238454

## NEW FUEL SYSTEM INSTALL PLAN

1. One new Underground Storage Tank, manufactured by Modern Welding, to be installed following ICC Standards
2. New fiberglass fuel pipe, manufactured by NOV, to be installed following ICC Standards
3. All new tank trim, under dispenser containment and associated plumbing to be installed following ICC Standards
4. New sump sensors, vacuum sensors and In-Station Diagnostics to be added to existing monitoring system
5. New carbon canister to be installed
6. Test all components of new fuel system per ICC standards and manufacturer recommendations

### **Work to be performed by:**

Beacom Construction

State Contractor License: 00168923

ICC License (UST Install/Retrofitting): 5238454



BEACOM  
CONSTRUCTION  
COMPANY 8/2/25

**GENERAL BUILDING CONTRACTORS**  
INDUSTRIAL - COMMERCIAL - FUEL SYSTEMS

Little River

The equipment on the site will be as follows and keep on developed areas:

1 Skidsteer	8 weeks
1 Mini X	8 weeks
1 Backhoe	8 weeks
1 Excavator	7 days
1 Dump Truck	10 days
1 Crane	2 days
3 Work trucks	8 weeks

The project will go as follows:

1. Excavate to the top of the tanks and piping  
2- 1,000 gallon tanks 20' x 15' x 4 deep  
1- 10,000 gallon tank 10' x 36' x 4 deep
2. Contain excavated material with Visqueen and store on site in the parking lot. Approx 100 yards of material
3. Enter, Clean, remove two 1,000 gallon tanks. Dispose of as non hazardous material to Eel River Scrap and Salvage yard.
4. Enter, clean and fill in place one 10,000 gallon tank with slurry (2 sac cement per 1 yard of sand) Per CCR Title 23 Abandon in place requirements.
5. Excavate for 10,000 gallon replacement tank 12' x 28' x 14' deep. Contain in site parking lot approx 200 yards of material (same as item #2)
6. Install 10,000 gallon replacement tank and fuel lines per CCR Title 23
7. Analyze excavated/stored materials for contaminants per CCR Title 23
8. If suitable, portions of excavated material will be reused for backfill and remainder of material shipped by Ben Trucking to appropriate approved disposal site. If not suitable all the material will be shipped by Bens Trucking.
9. All import backfill material will be pea gravel
10. Resurface all excavated areas to **match existing grades** with concrete/Asphalt

Thank you

Earl Ambrosini  
Beacom Construction  
659 Main St

659 Main Street  
P.O. Box 457  
Fortuna, CA 95540



License No. 168923  
(707) 725-3323  
FAX (707) 725-5428



## State Water Resources Control Board

July 9, 2025

Dear RUST Applicant:

Pursuant to Health and Safety Code, chapter 6.7, section 25292.05, all single-walled underground storage tanks (USTs) and nonexempt single-walled piping (SWTs) must be permanently closed by December 31, 2025. There are no exceptions. To assist small business owners and operators in complying with the approaching deadline, the 2025/2026 California Budget Public Resources Trailer Bill (SB124) amended the Health and Safety Code statutes for the Replacing, Removing, or Upgrading Underground Storage Tanks (RUST) Program to allow eligible RUST applicants to begin their projects now, without waiting for a RUST agreement, and receive RUST funding for those costs after execution of a RUST agreement.

The statutory change allows applicants who submitted their applications on or before June 30, 2025, to begin their project; while waiting for RUST Program approval and funding, and to receive funding for those costs once the RUST agreement is executed, so long as the applicant removes all SWTs at the facility on or before December 31, 2025.

Eligible costs incurred prior to a RUST agreement execution are limited to the following costs:

- 1) Costs to remove SWTs incurred by the applicant on or after December 31, 2024 and before January 1, 2026; and
- 2) Costs to replace SWTs incurred by the applicant on or after December 31, 2024 and before January 1, 2027.

*What does this mean for you and your project?*

The RUST Program received your application on or before June 30, 2025. If you begin your project immediately and your application is approved, you may be reimbursed for costs incurred before your RUST agreement execution will be available for reimbursement subject to the above limitations. Your application must still meet all RUST Program eligibility requirements before being fully approved. **Before beginning your project, it is important you understand RUST eligibility requirements and the timeline for RUST funding below and ensure you are able to proceed with the project while waiting for RUST funding.**

E. JOAQUIN ESQUIVEL, CHAIR | ERIC OPPENHEIMER, EXECUTIVE DIRECTOR

### *When will you receive funding?*

The RUST Program currently is awaiting funding for fiscal year 2025/2026 to be released for use. It is anticipated that this funding will become available for use in late August 2025. At that time, the RUST Program will begin preparing funding and agreement documentation for those RUST applicants who have been conditionally approved for a RUST loan and/or grant. These RUST agreements will likely be sent out for execution during the month of September 2025. Once the RUST agreement is fully executed, RUST recipients may immediately request reimbursement for costs incurred. Due to processing timelines of both the State Water Resources Control Board's Accounting Office and State Controller's Office, payments are typically sent to recipients six to eight weeks after the RUST Program receives a Reimbursement Request. In light of the number of conditionally approved applications awaiting execution and the expected amount of Reimbursement Requests to be received, recipients likely will not receive funding before December of 2025. Applicants who do not receive conditional approval prior to August should not expect to receive funding before January of 2026. **It is important for RUST recipients to be aware of the funding timelines when considering when to begin their project. RUST recipients who begin their RUST project before agreement execution should work with their contractors and/or material suppliers and/or secure other short term funding options while they wait for RUST reimbursement.**

### *What will be required when submitting a Reimbursement Request?*

- 1) All costs being requested for reimbursement must have a corresponding invoice from the contractor or equipment supplier referenced in your RUST agreement of costs that have been incurred. (Please review your RUST agreement thoroughly to ensure the invoices being submitted match the original proposals approved and referenced in the RUST agreement);
- 2) Copies of all permits required to complete the project (e.g. UST Permit to Install/Construct, Air Quality Management District Authority to Construct);
- 3) Copies of the signed contract executed with your contractor and equipment vendor; and
- 4) Complete and signed "Request for Reimbursement" (SWRCB 140) form

If you have questions regarding this statutory change and how it affects your RUST application and project, please email [RUST@waterboards.ca.gov](mailto:RUST@waterboards.ca.gov).

Sincerely,

A handwritten signature in blue ink, appearing to read 'M-R', with a long horizontal stroke extending to the right.

McLean Reich  
RUST, EAR and Reporting Section Manager

devices found to be not performing in conformance with the manufacturer's leak detection specifications shall be promptly repaired or replaced.

- (5) For monitoring underground tank systems that are located on farms and that store motor vehicle or heating fuels used primarily for agricultural purposes, alternative monitoring methods include the following:
- (a) If the tank has a capacity of greater than 1,100 gallons but of 5,000 gallons or less, the tank shall be tested using the tank integrity test, at least once every three years, and the owner or operator shall utilize tank gauging on a monthly or more frequent basis, as required by the local agency, subject to the specifications provided in paragraph (7) of subdivision (c) of Section 2641 of Title 23 of the California Code of Regulations, as that section read on August 13, 1985.
  - (b) If the tank has a capacity of more than 5,000 gallons, the tank shall be monitored pursuant to the methods for all other tanks specified in this subdivision.
  - (c) The board shall develop regulations specifying monitoring alternatives. The local agency, or any other public agency specified by the local agency, shall approve the location and number of wells, the depth of wells, and the sampling frequency, pursuant to these regulations.
  - (d) On or before December 22, 1998, the underground storage tank shall be replaced or upgraded to prevent releases due to corrosion or spills or overfills for the underground storage tank's operating life.
  - (e) (1) All existing underground pressurized piping shall be equipped with an automatic line leak detector on or before December 22, 1990, and shall be retrofitted with secondary containment on or before December 22, 1998. Underground pressurized piping shall be tightness tested annually.
  - (2) Paragraph (1) does not apply to existing pressurized piping containing motor vehicle fuel, if the pipeline is constructed of glass fiber reinforced plastic, cathodically protected steel, or steel clad with glass fiber reinforced plastic, is equipped with an automatic line leak detector, and is tightness tested annually.

**§ 25292.05. Permanent Closure of Single-Walled Underground Storage Tanks**

- (a) On or before December 31, 2025, the owner or operator of an underground storage tank shall permanently close that underground storage tank in accordance with Section 25298

and the regulations adopted pursuant to that section, if the underground storage tank meets either of the following conditions:

- (1) The underground storage tank is designed and constructed in accordance with paragraph (7) of subdivision (a) of Section 25291 and does not meet the requirements of paragraphs (1) to (6), inclusive, of subdivision (a) of Section 25291.
  - (2) The underground storage tank was installed on or before January 1, 1984, and does not meet the requirements of paragraphs (1) to (6), inclusive, of subdivision (a) of Section 25291.
- (b) Notwithstanding subdivision (a), the board may adopt regulations to require the owner or operator of an underground storage tank to permanently close that underground storage tank before December 31, 2025, in accordance with Section 25298 and the regulations adopted pursuant to that section, if the underground storage tank meets the conditions specified in either paragraph (1) or (2) of subdivision (a) and the underground storage tank poses a high threat to water quality or public health. The board shall consult with stakeholders before adopting regulations pursuant to this subdivision.

**§ 25292.1. Underground Tank Systems; Operations Requirements**

All underground tank systems shall meet the following operational requirements:

- (a) The underground tank system shall be operated to prevent unauthorized releases, including spills and overfills, during the operating life of the tank, including during gauging, sampling, and testing for the integrity of the tank.
- (b) Where equipped with cathodic protection, the underground tank system shall be operated by a person with sufficient training and experience in preventing corrosion.
- (c) The underground tank system shall be structurally sound at the time of upgrade or repair.

**§ 25292.2. Evidence of Financial Responsibility**

- (a) All owners and operators of an underground tank system shall maintain evidence of financial responsibility for taking corrective action and for compensating third parties for bodily injury and property damage caused by a release from the underground tank system, in accordance with regulations adopted by the board pursuant to Section 25299.3. The regulations shall include a schedule that requires that financial responsibility requirements are phased-in for all underground storage tank systems on or before October 26, 1990.
- (b) If the owner and the operator are separate persons, either the owner or the operator shall demonstrate compliance with subdivision (a).



**§ 25298. Abandonment, Closing, or Temporary Ceasing of Operation of Underground Storage Tank**

- (a) No person shall abandon an underground tank system or close or temporarily cease operating an underground tank system, except as provided in this section.
- (b) An underground tank system that is temporarily taken out of service, but which the owner or operator intends to return to use, shall continue to be subject to all the permit, inspection, and monitoring requirements of this chapter and all applicable regulations adopted by the board pursuant to Section 25299.3, unless the owner or operator complies with subdivision (c) for the period of time the underground tank system is not in use.
- (c) No person shall close an underground tank system unless the person undertakes all of the following actions:
  - (1) Demonstrates to the local agency that all residual amounts of the hazardous substance or hazardous substances which were stored in the tank system prior to its closure have been removed, properly disposed of, and neutralized.
  - (2) Adequately seals the tank system to minimize any threat to the public safety and the possibility of water intrusion into, or runoff from, the tank system.
  - (3) Provides for, and carries out, the maintenance of the tank system as the local agency determines is necessary for the period of time the local agency requires.
  - (4) Demonstrates to the appropriate agency, which has jurisdiction over the site, that the site has been investigated to determine if there are any present, or were past, releases, and if so, that appropriate corrective or remedial actions have been taken.

**§ 25298.5. Analysis Required to be Performed by Accredited Laboratories**

The analysis of any material that is required to demonstrate compliance with this chapter or Chapter 6.75 (commencing with Section 25299.10) shall be performed by a laboratory accredited by the department pursuant to Article 3 (commencing with Section 100825) of Chapter 4 of Part 1 of Division 101.

**§ 25299. Violations, Civil and Criminal Penalties**

- (a) An operator of an underground tank system is liable for a civil penalty of not less than five hundred dollars (\$500) or more than five thousand dollars (\$5,000) for each underground storage tank, for each day of violation, for any of the following violations: