

RESOLUTION NO. 23-075

RESOLUTION OF THE MENDOCINO COUNTY BOARD OF SUPERVISORS APPROVING FOR THE BELLA VISTA SUBDIVISION PROJECT AN AMENDED VESTING TENTATIVE MAP (S_2020-0001) SUBJECT TO CONDITIONS OF APPROVAL AND AN AMENDED MITIGATION MONITORING & REPORTING PROGRAM, A DENSITY BONUS AND REDUCTIONS IN DEVELOPMENT STANDARDS PER STATE DENSITY BONUS LAW, MODIFIED DESIGN GUIDELINES AND PRELIMINARY LANDSCAPE SITE PLAN & PLANTING PLAN, AN ADMINISTRATIVE PERMIT (AP_2022-0034) AND AN INCLUSIONARY HOUSING PLAN

WHEREAS, on October 6, 2009, the Mendocino County Board of Supervisors adopted Resolution No. 09-230 certifying the Garden's Gate Subdivision Final Environmental Impact Report (State Clearinghouse No. 2007052006; "Garden's Gate Project EIR") which analyzed the environmental impacts of a 197-lot residential project located approximately one mile south of the Ukiah City limits ("Garden's Gate Project"), and adopted a Mitigation Monitoring and Reporting Program ("MMRP"), and a Statement of Overriding Considerations; and

WHEREAS, on October 6, 2009, the Board of Supervisors also approved a Vesting Tentative Subdivision Map for the Garden's Gate Project (S_3-2005); and

WHEREAS, on October 20, 2009, the Board of Supervisors adopted Ordinance No. 4229 approving the Garden's Gate Development Agreement, and on July 13, 2010, the Board of Supervisors adopted Ordinance No. 4264 approving the First Amendment to the Garden's Gate Development Agreement; and

WHEREAS, the First Amendment to the Garden's Gate Development Agreement vests the project entitlements for the Garden's Gate Project for a period of 15 years, a term that remains valid until August 27, 2025; and

WHEREAS, subsequent to the approval of entitlements for the Garden's Gate Project, the project site was acquired by Rancho Yokayo, L.P. and the entitlements and Development Agreement were assumed by the new owner; and

WHEREAS, on July 23, 2020, Rancho Yokayo, L.P. ("Owner") and Guillon, Inc. ("Applicant") filed an application with the County of Mendocino requesting: (a) a subdivision modification (S_2020-0001) to change the layout of the Garden's Gate Project (excluding the 1.68-acre portion known as Tract 261 for which a Final Map has been recorded), to reduce the number of lots, to modify the incentives and concessions that were granted under State Density Bonus Laws, to modify the Inclusionary Housing Plan and to modify the Phasing Plan; and (b) an amendment to the Garden's Gate Development Agreement (DEV_2020-0001), collectively the "Bella Vista Subdivision Project" ("Project"); and

WHEREAS, the Project includes a modified Vesting Tentative Subdivision Map, attached hereto as Exhibit A and incorporated herein by reference, in order to subdivide 48.8± acres (identified as Assessor's Parcel numbers 184-110-28; 184-110-29; 184-120-21 and 184-120-01) into 171 single-family residential parcels, including a 39-lot age-restricted Senior Neighborhood and a 132-lot Traditional Neighborhood, with parks, streets and utilities; and

WHEREAS, in accordance with State Density Bonus Law (Government Code Section 65915 *et seq.*), the Applicant proposes a modified Inclusionary Housing Plan, attached hereto as Exhibit B and incorporated herein by reference, whereby 10% of the residences in the Traditional Neighborhood would be restricted for sale to qualifying moderate-income households and the 39 residences in the Senior Neighborhood would be restricted to age-qualifying residents; and

WHEREAS, in accordance with State Density Bonus Law, the Applicant has requested exceptions to the development standards in the Mendocino County Division of Land Regulations and the Mendocino County Zoning Ordinance for minimum lot sizes, yard setbacks, flag lots, double frontage lots, and private road easements; and

WHEREAS, the Applicant is seeking approval of the Bella Vista Design Guidelines Manual, attached hereto as Exhibit C and incorporated herein by reference; and

WHEREAS, the Applicant is seeking approval of a Preliminary Landscape Site Plan & Planting Plan, attached hereto as Exhibit D and incorporated herein by reference; and

WHEREAS, the Applicant is seeking approval of an Administrative Permit (AP_2022-0034) to allow for development of single-family residences in the portion of the project site that lies within the Multiple-Family Residential (R-3) zoning district (identified as Assessor's Parcel number 184-110-28); and

WHEREAS, at a properly noticed public hearing on March 9, 2023, the Planning Commission reviewed written and oral staff reports, conducted a public hearing on the Project and took testimony; and received into the record all pertinent documents related to the Project and adopted Resolution No. PC_2023-0002 recommending, in part, that the Board of Supervisors:

1. Approve an Amended Vesting Tentative Map (Exhibit A) (S_2020-0001), subject to Conditions of Approval (Exhibit E) and an Amended Mitigation Monitoring and Reporting Program (Exhibit F);
2. Approve a modified Inclusionary Housing Plan (Exhibit B);
3. Approve a density bonus and requested reductions in development standards per State Density Bonus Law;
4. Approve Bella Vista Design Guidelines Manual (Exhibit C) and a Preliminary Landscape Site Plan & Planting Plan (Exhibit D); and
5. Approve an Administrative Permit (AP_2022-0034).

WHEREAS, in accordance with applicable provisions of law, the Board of Supervisors held a public hearing on April 11, 2023, at which time the Board of Supervisors heard and received all relevant testimony and evidence presented orally or in writing regarding the Project and all interested persons were given an opportunity to hear and be heard regarding the Project; and

NOW, THEREFORE BE IT RESOLVED that the Mendocino County Board of Supervisors hereby determines as follows:

1. The above recitals are true and correct and incorporated herein by this reference.
2. The proposed subdivision, as shown on the Amended Vesting Tentative Subdivision Map (Exhibit A) is consistent with the Mendocino County General Plan, the Ukiah Valley Area Plan, and the Ukiah Municipal Airport Land Use Compatibility Plan (UKIALUCP) as detailed in the Planning Commission staff report. The Project would provide a total of 171 units of housing, including 39 units that are age-restricted for senior citizens ("Senior Neighborhood"), and 132 units that are not age-restricted ("Traditional Neighborhood"). A total of ten percent (10%) of the units in the non-age-restricted portion of the project (13 units) would be restricted for sale to qualifying moderate-income households, thereby addressing Mendocino County General Plan Housing Element policies and Ukiah Valley Area Plan policies encouraging a range of housing types and densities to meet the diverse

needs of County residents. On December 16, 2021, the Airport Land Use Commission determined that the Project is consistent with the UKIALUCP.

3. The Inclusionary Housing Plan (Exhibit B) proposes that ten percent (10%) of the 132 dwelling units in the Traditional Neighborhood (13 units) be sold to moderate-income households and that 39 dwelling units be restricted as a senior citizen housing development. As such, the Inclusionary Housing Plan voluntarily complies with State Density Bonus Law as it includes a senior housing component and 10% of the non-age restricted units would be affordable. Therefore, per Mendocino County Code Section 20.238.010(B), the Project would be exempt from the requirements of the County's Inclusionary Housing Ordinance (Mendocino County Code Chapter 20.238).
4. The senior housing component of the Project is eligible for a 20% density bonus per State Density Bonus Law. In order to achieve the proposed density of 39 units on approximately 191,000 square feet in the Senior Neighborhood, a density bonus is required. Through covenants, conditions and restrictions (CC&Rs), the project will ensure compliance with Civil Code section 51.3 relating to qualifying residents and Civil Code section 51.2 pertaining to accessibility and features to encourage social contact in senior housing projects, thus assuring compliance with State Density Bonus Law.
5. The Applicant has requested a reduction of development standards under State Density Bonus Law for the Traditional Neighborhood for the following standards: reduced minimum lot sizes, reduced setbacks, double frontage lots and flag lots, access via private road easements, and modified standards for fencing on street frontages. The requested reductions in development standards would not result in a public health or safety problem or result in adverse environmental effects.
6. The design of the subdivision provides, to the extent feasible, for future passive or natural heating or cooling opportunities. The Bella Vista Design Guidelines Manual (Exhibit C) provides for the residences to have wide eaves, front patios and porches to assist with passive cooling. Additionally, homes will be constructed to applicable California Energy Standards, including solar photovoltaic systems.
7. The project site is physically suitable for the type and density of development. It consists of gently sloping terrain that was formerly in agricultural use and is designated for residential development in both the Mendocino County General Plan and the Ukiah Valley Area Plan.
8. The design of the subdivision and the proposed improvements are consistent with the County's standards for Land Divisions except for the density bonus for the Senior Neighborhood and the reductions in development standards, requested per State Density Bonus Law. The staff report for the Planning Commission's March 9, 2023 public hearing provides a detailed analysis of consistency with the County's land division regulations.
9. The requested Administrative Permit (AP_2022-0034) to authorize the single-family and age restricted residences that are located partially or wholly on parcels that lie within the Multiple-Family Residential (R-3) zone may be granted based on the development constraint imposed by the Inner Approach Zone (Airport Zone 2) as established in the UKIALUCP. The Modified Project was designed to locate residential uses entirely outside of the Airport Zone 2 and the irregular western boundary of the R-3 zoned parcel (APN 184-110-28) results in relatively small, fragmented areas that lie outside of Airport Zone 2, and that are not well-suited for multiple family uses.
10. The design of the subdivision and the proposed improvements are not likely to cause substantial environmental damage or substantially and avoidably injure fish or wildlife or their habitat. As explained in the Addendum to the Garden's Gate EIR prepared for the Project, there is no substantial evidence that the Project would have a significant effect on

the environment beyond that which was evaluated in the certified Garden's Gate EIR. The EIR and the EIR Addendum concluded that, with implementation of mitigations, the subdivision would not result in significant adverse impacts to fish or wildlife or their habitat.

11. The design of the subdivision and the proposed improvements are not likely to cause serious public health problems. As explained in the Addendum to the Garden's Gate EIR, there is no substantial evidence that the Project would have a significant effect on public health and safety beyond that which was evaluated in the certified Garden's Gate EIR. The project will be served by public water and wastewater systems and the design of the subdivision access and circulation allows for adequate access by emergency service providers.
12. The design of the subdivision or the type of improvements will not conflict with easements, acquired by the public at large, for access through or use of property within the proposed subdivision. Neither the Preliminary Title Report nor the Amended Vesting Tentative Map for the project site identify any such easements through the proposed subdivision.
13. The discharge of waste from the proposed subdivision into the community sewer system would not result in violation of existing requirements prescribed by the North Coast Regional Water Quality Control Board. The Applicant has received a "will serve" letter from the Ukiah Valley Sanitation District indicating that the Sanitation District has the capacity to serve the Project.
14. The Planning Commission has determined that the two private streets in the Modified Project (i.e., the loop road serving the Senior Neighborhood and the cul-de-sac serving parcels 116-132 in the northeastern portion of the project as shown on the Amended Vesting Tentative Map) will adequately serve the proposed subdivision, will not be a substantial detriment to the adjoining properties, and will not disrupt or prevent the establishment of an orderly street pattern within the area of the subdivision. Satisfactory provisions have been made for a Homeowner's Association to assume responsibility for maintenance of the private streets and associated improvements.

BE IT FURTHER RESOLVED that the Board of Supervisors hereby approves the Amended Vesting Tentative Map (S_2020-0001) (Exhibit A) subject to Conditions of Approval, attached hereto as Exhibit E and incorporated herein by reference, and the Amended Mitigation Monitoring & Reporting Program (Exhibit F), the Density Bonus and Reductions in Development Standards Per State Density Bonus Law, the Inclusionary Housing Plan (Exhibit B), the Bella Vista Design Guidelines Manual (Exhibit C), the Preliminary Landscape Site Plan & Planting Plan (Exhibit D), and an Administrative Permit (AP_2022-0034).


BE IT FURTHER RESOLVED that the Clerk of the Board is designated as the custodian of the documents and other materials that constitute the record of the proceedings upon which the Board's decisions herein are based. These documents may be found at the office of the Clerk of the Board of Supervisors, 501 Low Gap Road, Ukiah, California 95482.

The foregoing Resolution introduced by Supervisor Williams, seconded by Supervisor Mulheren, and carried this 11th day of April, 2023, by the following vote:

AYES: Supervisors McGourty, Mulheren, Haschak, Gjerde, and Williams
NOES: None
ABSENT: None

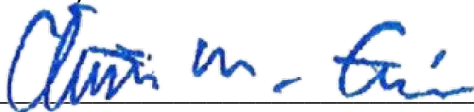
WHEREUPON, the Chair declared said Resolution adopted and SO ORDERED.


ATTEST: DARCIE ANTLE
Clerk of the Board



Deputy

APPROVED AS TO FORM:
CHRISTIAN M. CURTIS
County Counsel





GLENN MCGOURTY, Chair
Mendocino County Board of Supervisors

I hereby certify that according to the provisions of Government Code Section 25103, delivery of this document has been made.

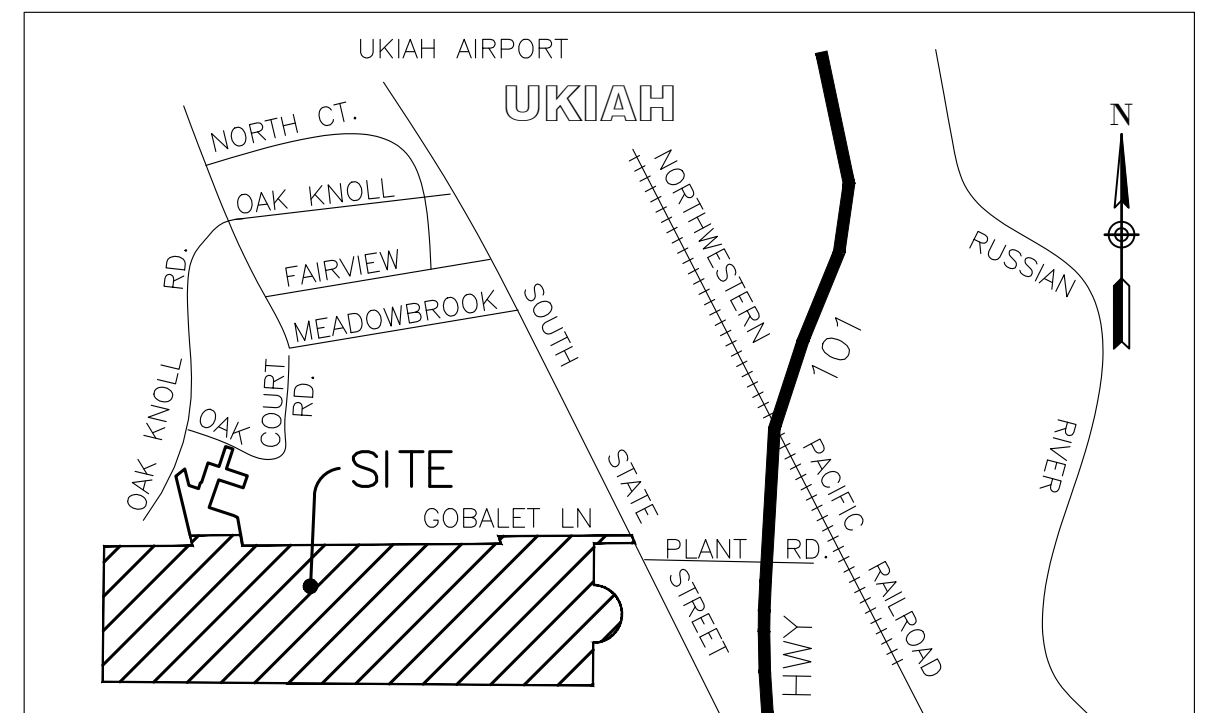
BY: DARCIE ANTLE
Clerk of the Board



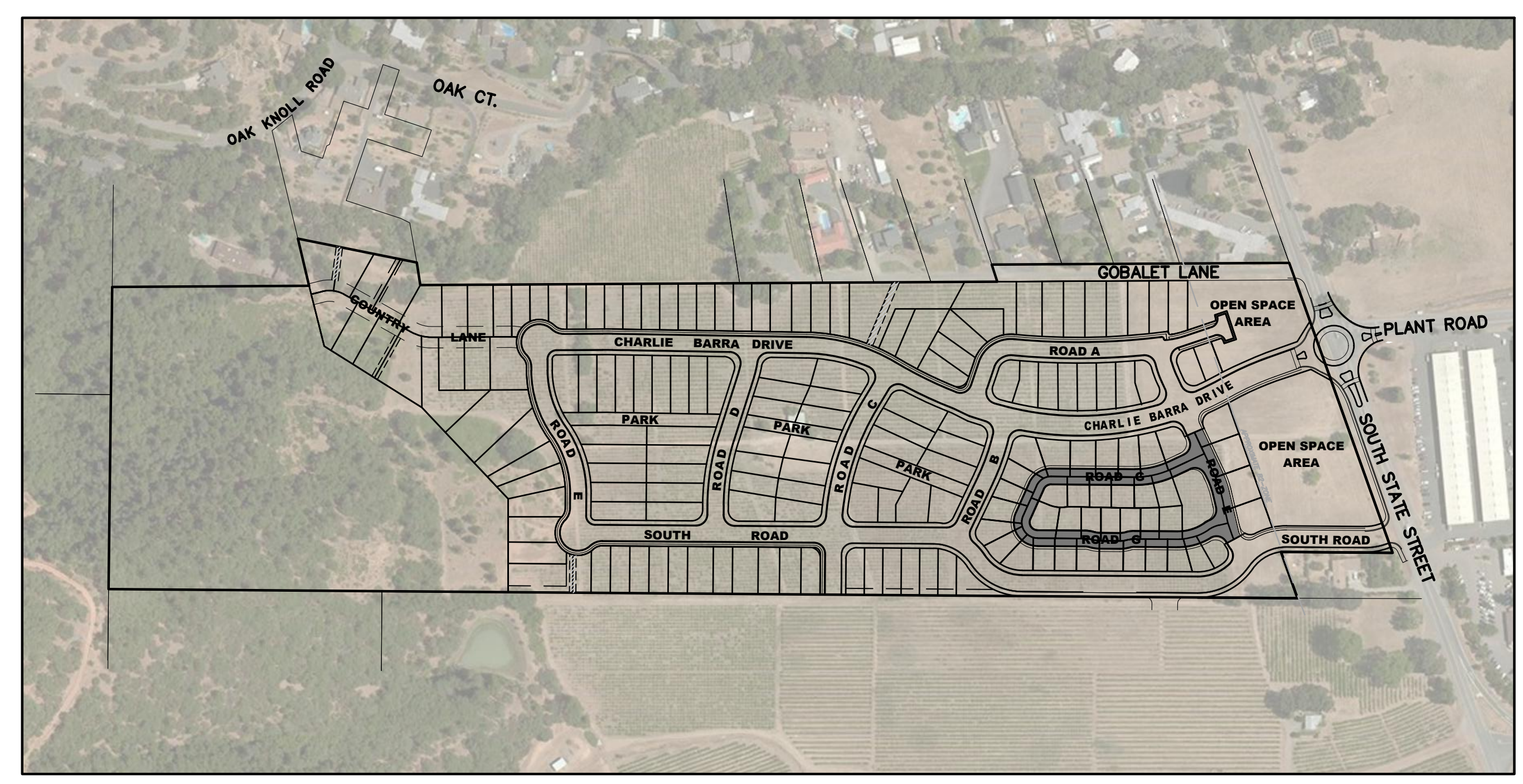
Deputy

VESTING TENTATIVE MAP BELLA VISTA SUBDIVISION

LYING WITHIN THE UNINCORPORATED AREA OF MENDOCINO COUNTY, CALIFORNIA



VICINITY MAP
N.T.S



PROJECT DATA

PROPERTY ADDRESS: 3000 S STATE STREET,
UKIAH, CA 95482

PROPERTY OWNER:
YOKAYO RANCH LP.
800 HENSLEY CREEK RD
UKIAH, CA 95482

SURVEYOR/CIVIL ENGINEER:
LACO ASSOCIATES
776 S. STATE ST.,
SUITE 102A
UKIAH, CA 95482

EXISTING LAND USE: VINEYARD

EXISTING ZONING: SR, RR-5, AZ-B2,
AZ-C, AZ-D

PROPOSED ZONING: SUBURBAN RESIDENTIAL

NUMBER OF LOTS: 171

PARKS & OPEN SPACE AREA SIZE: 4.39
ACRES

MINIMUM GROSS LOT SIZE: 3,479
SQUARE FEET

MAXIMUM GROSS LOT SIZE: 18,088
SQUARE FEET

EXISTING ACREAGE: 48.8 ACRES

APN: 184-110-28, 184-110-29,
148-120-21 & 184-120-01

LEGEND/ABBREVIATIONS

- PROPOSED PARCEL LINE
- EXISTING BOUNDARY LINE
- - - PROPOSED WATER MAIN EASEMENT
- - - ROAD CENTERLINE
- PHASE LINE
- WV WATER VALVE
- ⊗ FIRE HYDRANT
- ⊙ SANITARY SEWER MANHOLE
- STORM DRAIN
- DROP INLET
- JT— JOINT TRENCH
- ▭ CURB INLET
- - - - BUILDING SETBACK LINE (BSL)
- ⊥ PROPERTY LINE

SHEET INDEX

- 1 COVER SHEET
- 2 EXISTING PARCEL MAP
- 3 PHASING LAYOUT
- 4 PARCEL LAYOUT
- 5 PARCEL LAYOUT SENIOR AREA
- 6 GRADING & DRAINAGE
- 7 GRADING & DRAINAGE
- 8 UTILITIES AND IMPROVEMENTS
- 9 UTILITIES AND IMPROVEMENTS
- 10 ROAD SECTION DETAILS

SURVEYOR

PREPARED UNDER THE SUPERVISION OF:

BRADLEY A. THOMAS PLS 5520 8/31/2020
DATE DATE

OWNER/SUBDIVIDER

THIS MAP HAS BEEN APPROVED BY:

DOUGLAS GULLON X/XX/XXXX
OWNER/SUBDIVIDER DATE

NOTES

BOUNDARY LINES / LOT LINES SHOWN ON THIS MAP DERIVED FROM FOUND MONUMENTS AND RECORD DATA

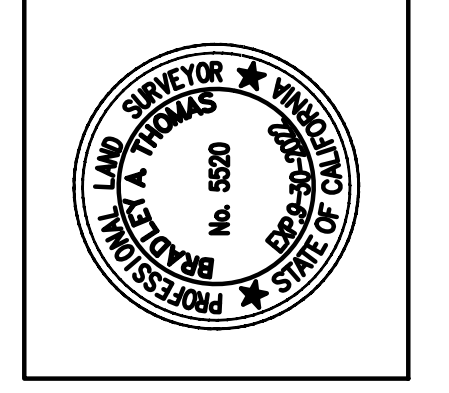
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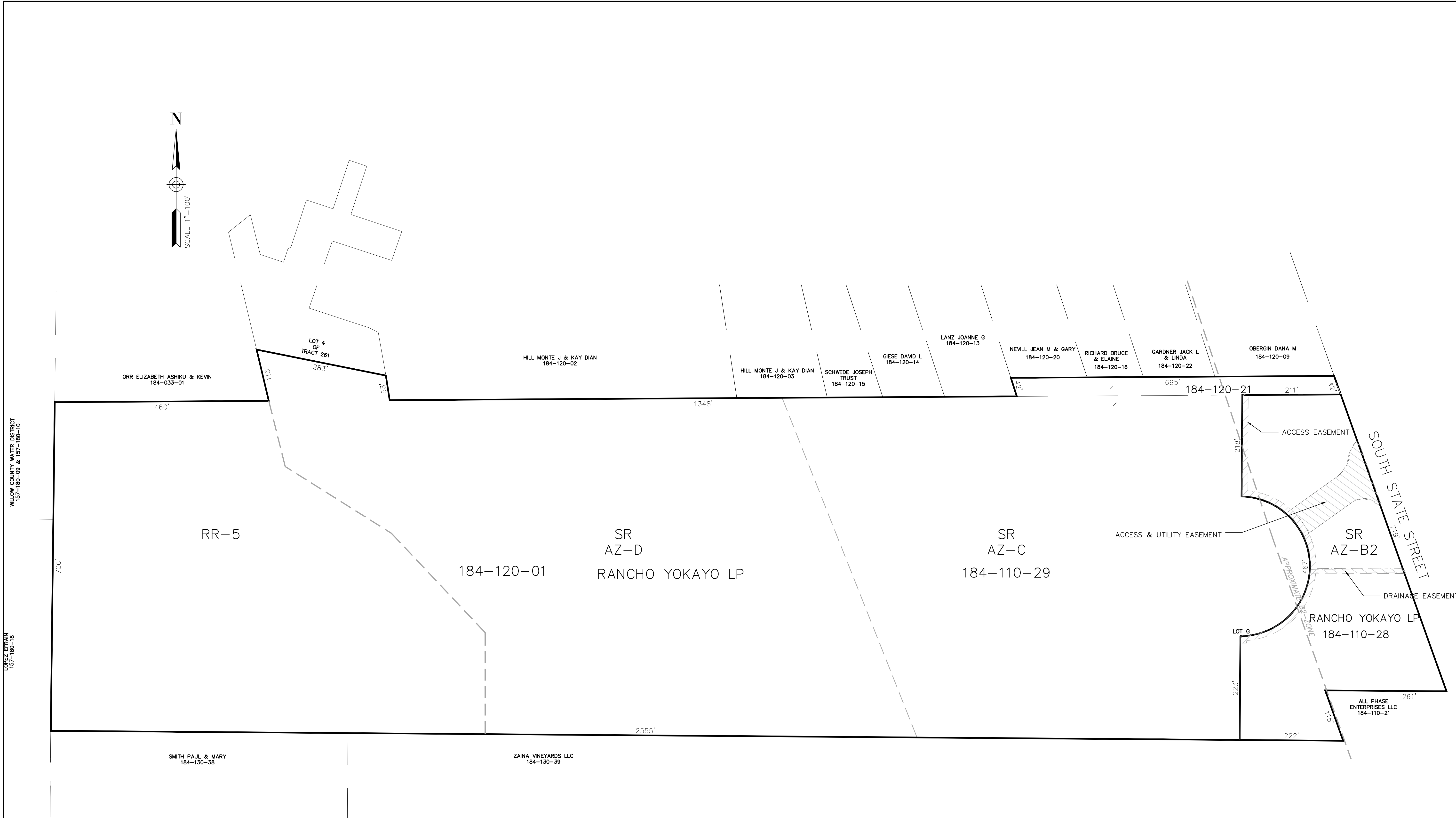
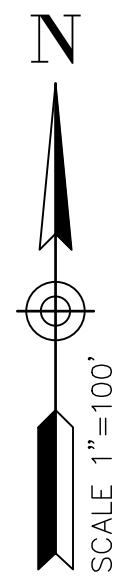
NO.	HISTORY / REVISION	BY	CHK	DATE
1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

VESTING TENTATIVE MAP
GULLON INC. CONSTRUCTION
3000 S STATE STREET, UKIAH, CA 95482

COVER SHEET

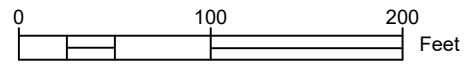


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DATE	August 30, 2022
JOB NUMBER	9100.06
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LEGEND

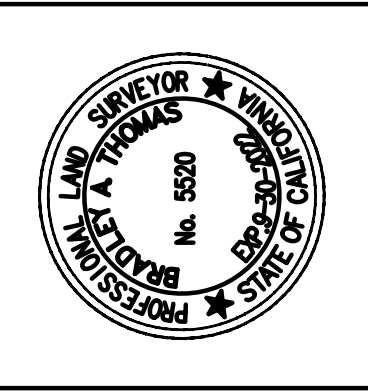
 EXISTING EASEMENT TO BE ABANDONED WITH THE RECORDATION OF PHASE 1.



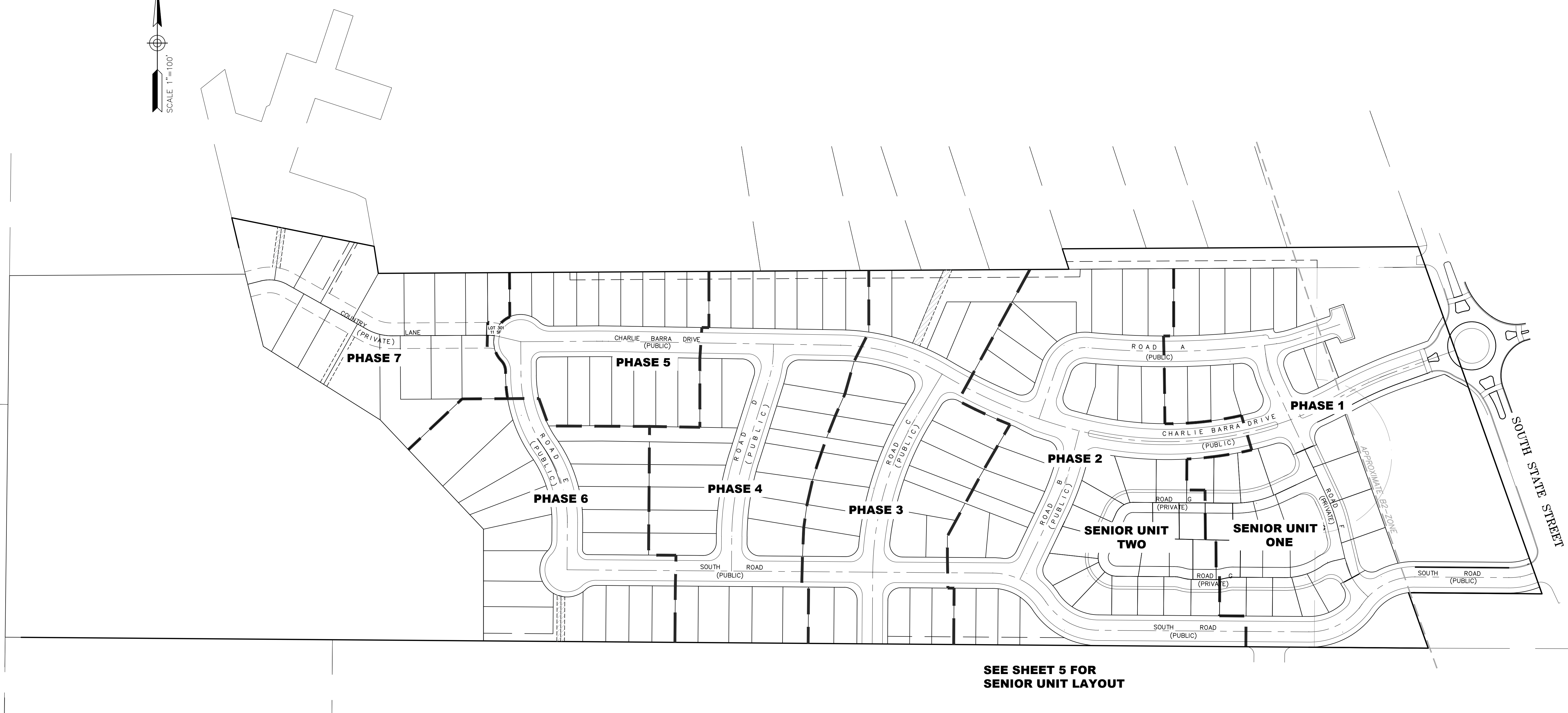
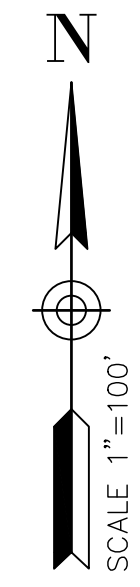
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NO.	HISTORY / REVISION	BY / CHK	DATE
1	ADDRESS COUNTY COMMENTS	X	8/28/2020

VESTING TENTATIVE MAP
 GULLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482
 EXISTING PARCEL MAP



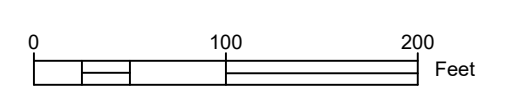
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DATE	August 31, 2022
JOB NUMBER	9100.06
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PHASING	
PHASE NUMBER	NUMBER OF LOTS
1	11
2	21
3	23
4	26
5	16
6	18
7	17

SENIOR AREA PHASING	
PHASE NUMBER	NUMBER OF LOTS
1	19
2	20

NOTE: PHASING LAYOUT MAY BE MODIFIED PURSUANT TO THE DEVELOPMENT AGREEMENT

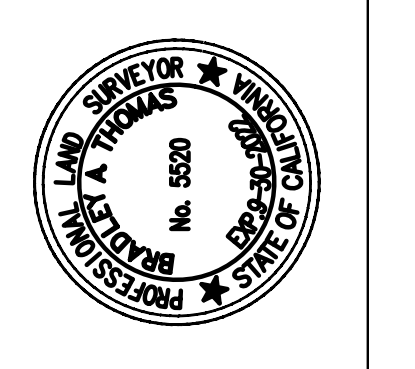


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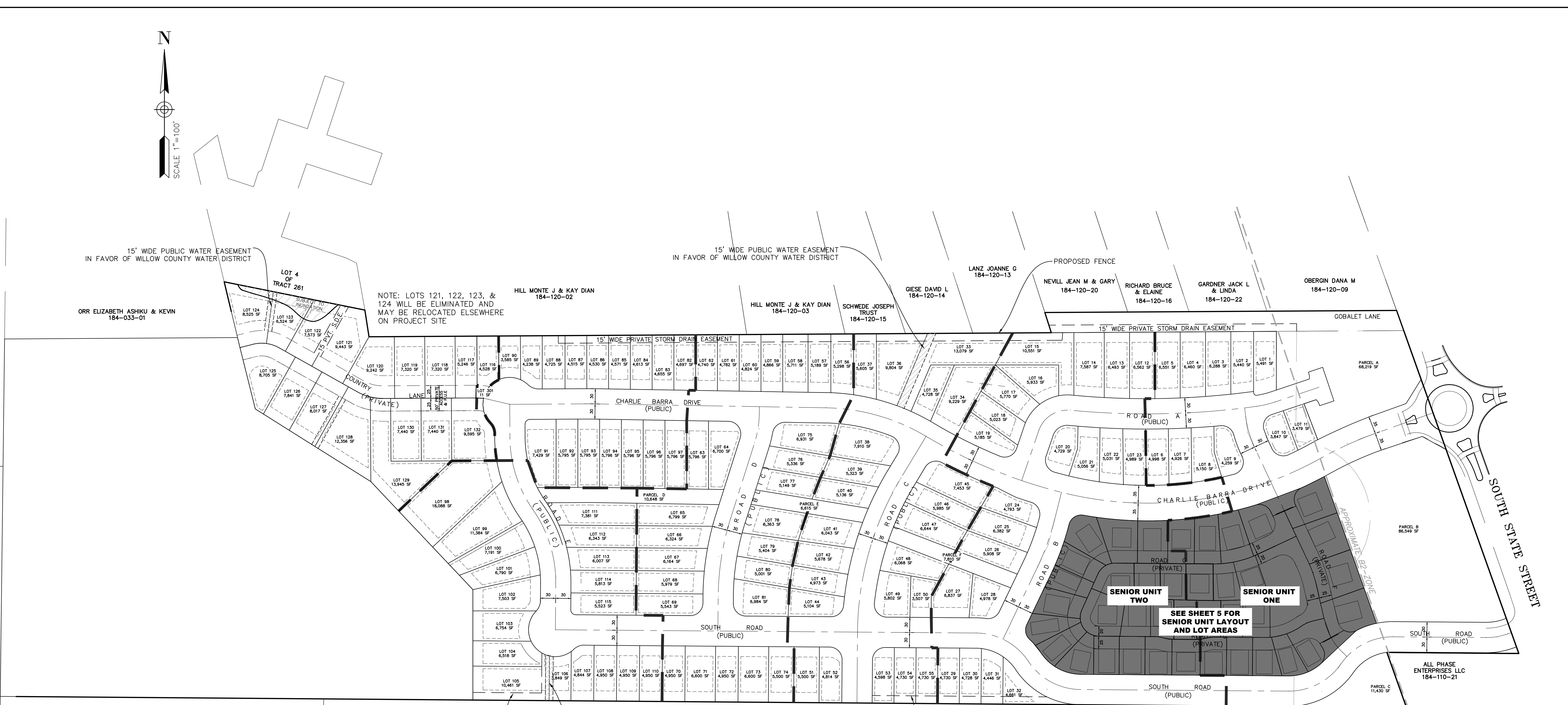
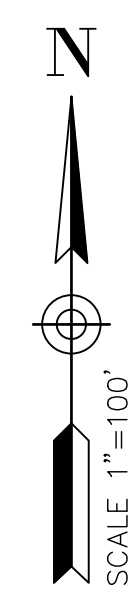
NO.	HISTORY / REVISION	BY	CHK.	DATE
1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

VESTING TENTATIVE MAP
 GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

SUBDIVISION PHASING



DRAWN	AR
CHECK	CCM
APPROVED	KD
DATE	August 31, 2022
JOB NUMBER	9100.06
DRAWING	



LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 1	5,491	5,491
LOT 2	5,440	5,440
LOT 3	6,288	6,288
LOT 4	6,460	6,460
LOT 5	6,551	6,551
LOT 6	4,998	4,998
LOT 7	4,926	4,926
LOT 8	5,150	5,150
LOT 9	4,259	4,259
LOT 10	3,847	3,847
LOT 11	3,479	3,479
LOT 12	6,562	6,562
LOT 13	6,493	6,493
LOT 14	7,587	7,587
LOT 15	10,551	9,019
LOT 16	5,933	5,933
LOT 17	5,770	5,770
LOT 18	5,023	5,023
LOT 19	5,185	5,185
LOT 20	4,729	4,729

LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 21	5,056	5,056
LOT 22	5,031	5,031
LOT 23	4,989	4,989
LOT 24	4,793	4,793
LOT 25	6,382	6,382
LOT 26	5,908	5,908
LOT 27	6,837	6,837
LOT 28	4,978	4,978
LOT 29	4,730	4,085
LOT 30	4,728	4,083
LOT 31	4,446	3,801
LOT 32	4,661	3,032
LOT 33	13,079	8,445
LOT 34	9,229	9,229
LOT 35	4,728	4,728
LOT 36	9,804	8,335
LOT 37	5,605	4,930
LOT 38	7,910	7,910
LOT 39	5,323	5,323
LOT 40	5,136	5,136

LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 41	6,043	6,043
LOT 42	5,678	5,678
LOT 43	4,973	4,973
LOT 44	5,104	5,104
LOT 45	7,453	7,453
LOT 46	5,985	5,985
LOT 47	6,644	6,644
LOT 48	6,068	6,068
LOT 49	5,802	5,802
LOT 50	3,507	3,507
LOT 51	5,500	5,500
LOT 52	4,814	4,814
LOT 53	4,598	3,952
LOT 54	4,730	4,085
LOT 55	4,730	4,085
LOT 56	5,298	4,623
LOT 57	5,189	4,514
LOT 58	5,711	4,961
LOT 59	4,866	4,221
LOT 60	4,824	4,179

LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 61	4,782	4,137
LOT 62	4,740	4,095
LOT 63	5,796	5,796
LOT 64	6,700	6,700
LOT 65	6,799	6,799
LOT 66	6,324	6,324
LOT 67	6,164	6,164
LOT 68	5,979	5,979
LOT 69	5,543	5,543
LOT 70	4,950	4,950
LOT 71	6,600	6,600
LOT 72	4,950	4,950
LOT 73	6,600	6,600
LOT 74	5,500	5,500
LOT 75	6,931	6,931
LOT 76	5,336	5,336
LOT 77	5,149	5,149
LOT 78	6,363	6,363
LOT 79	5,404	5,404
LOT 80	5,001	5,001

LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 81	6,984	6,984
LOT 82	4,697	4,052
LOT 83	4,655	4,010
LOT 84	4,613	3,968
LOT 85	4,571	3,926
LOT 86	4,530	3,885
LOT 87	4,515	3,870
LOT 88	4,725	4,527
LOT 89	4,238	4,238
LOT 90	3,585	3,585
LOT 91	7,429	7,429
LOT 92	5,795	5,795
LOT 93	5,795	5,795
LOT 94	5,796	5,796
LOT 95	5,796	5,796
LOT 96	5,796	5,796
LOT 97	5,796	5,796
LOT 98	18,088	18,088
LOT 99	11,384	11,384
LOT 100	7,191	7,191

LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 101	6,790	6,790
LOT 102	7,503	7,503
LOT 103	6,754	6,754
LOT 104	6,518	6,518
LOT 105	10,461	7,067
LOT 106	4,530	3,194
LOT 107	4,844	4,844
LOT 108	4,950	4,950
LOT 109	4,950	4,950
LOT 110	4,950	4,950
LOT 111	7,381	7,381
LOT 112	6,343	6,343
LOT 113	6,007	6,007
LOT 114	5,813	5,813
LOT 115	5,523	5,523
LOT 116	4,528	4,105
LOT 117	5,246	4,171
LOT 118	7,320	5,820
LOT 119	7,320	5,820
LOT 120	9,243	6,674

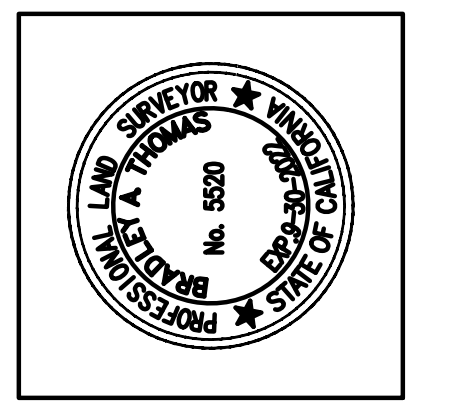
LOT NUMBER	AREA (GROSS)	AREA (NET)
LOT 121	9,443	7,032
LOT 122	7,573	5,079
LOT 123	6,524	4,801
LOT 124	8,525	6,491
LOT 125	8,705	6,020
LOT 126	7,841	6,341
LOT 127	8,017	6,517
LOT 128	12,356	10,994
LOT 129	13,945	12,940
LOT 130	7,440	5,940
LOT 131	7,440	5,940
LOT 132	9,595	8,019

PARCEL	AREA
PARCEL A	68,219
PARCEL B	86,549
PARCEL C	11,430
TOTAL	166,198
LINEAR PARK AREA	
PARCEL D	10,648
PARCEL E	6,615
PARCEL F	7,810
TOTAL	25,073
OTHER AREAS	
DESCRIPTION	AREA
PUBLIC ROW	390,450
SENIOR HOA	194,751
COMMON PARCEL G	9763
REMAINDER	531,242

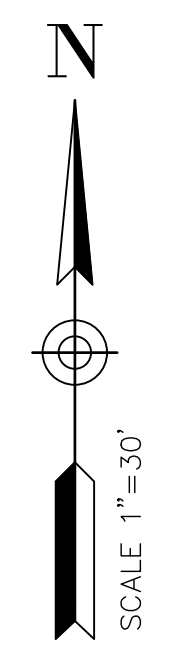
NO.	HISTORY / REVISION	BY	CHK.	DATE
1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

VESTING TENTATIVE MAP
 GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

LOT LAYOUT

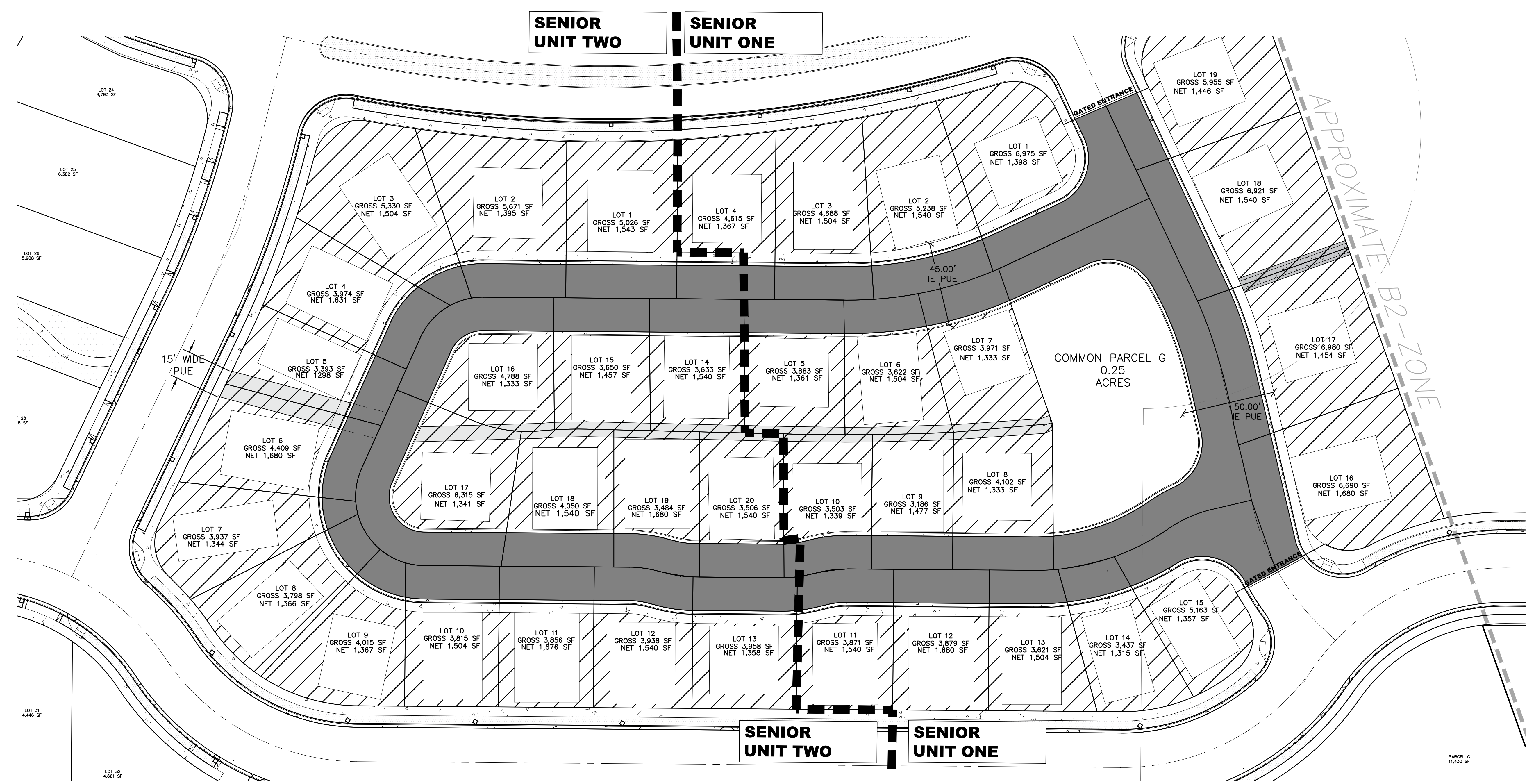


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DATE	August 31, 2022
JOB NUMBER	9100.06
DRAWING	4/10



LEGEND

- RESTRICTED USE EASEMENT
- IE & PUE
- IE -INGRESS & EGRESS
- PUE -PUBLIC UTILITY EASEMENT
- EXCLUSIVE USE PARK EASEMENT



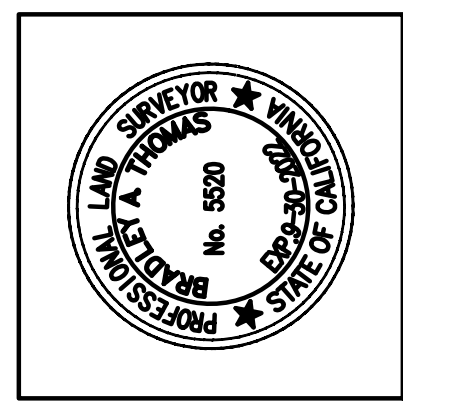
LACO

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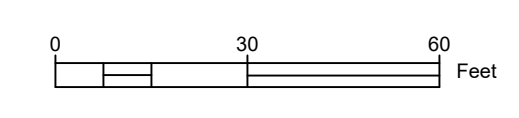
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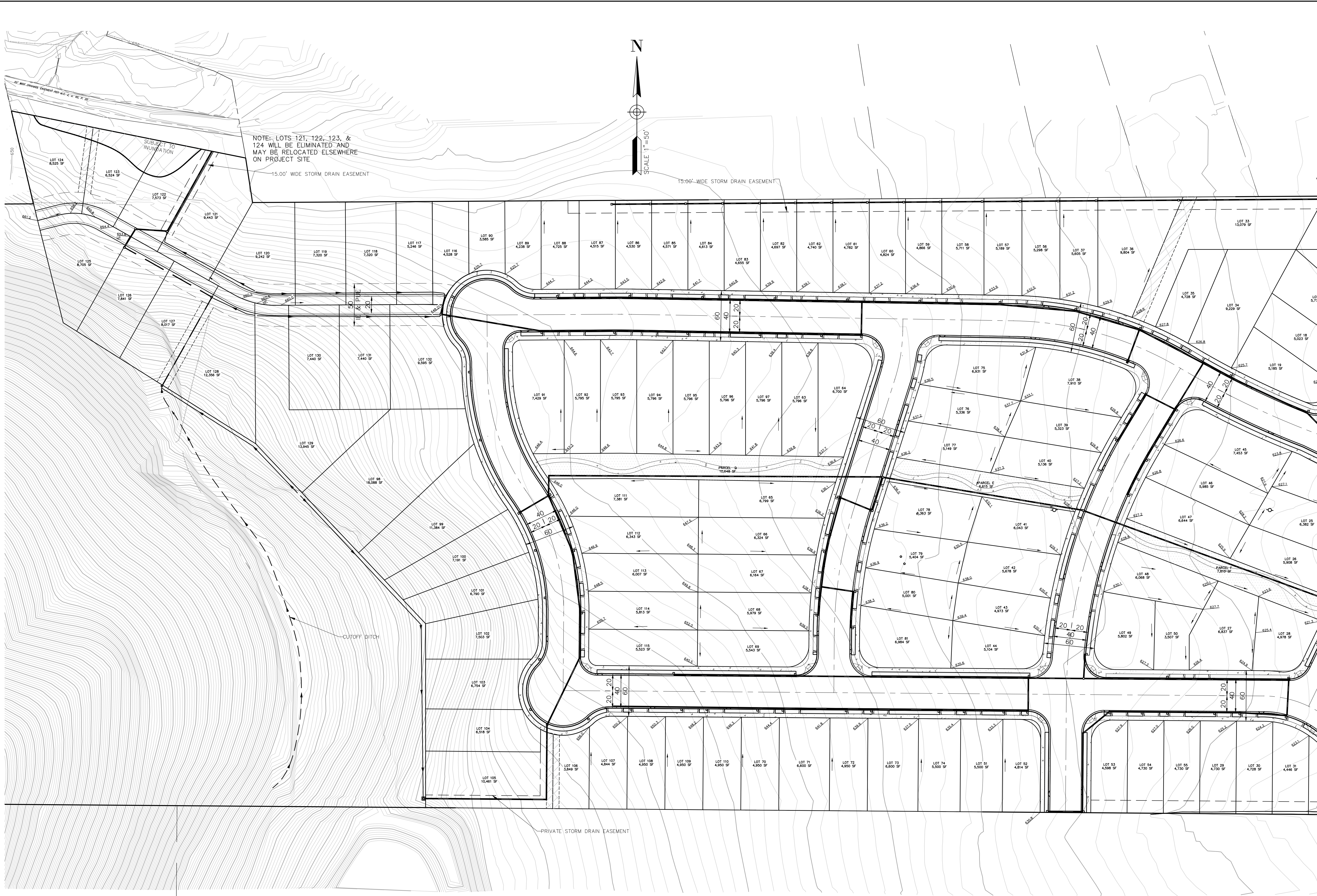
VESTING TENTATIVE MAP
GUILLON INC. CONSTRUCTION
3000 S STATE STREET, UKIAH, CA 95482

SENIOR LOT LAYOUT

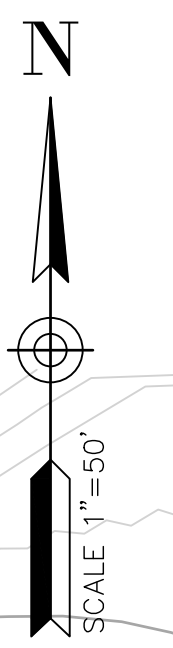


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DATE	August 31, 2022
JOB NUMBER	9100.06
DRAWING	





NOTE: LOTS 121, 122, 123, & 124 WILL BE ELIMINATED AND MAY BE RELOCATED ELSEWHERE ON PROJECT SITE

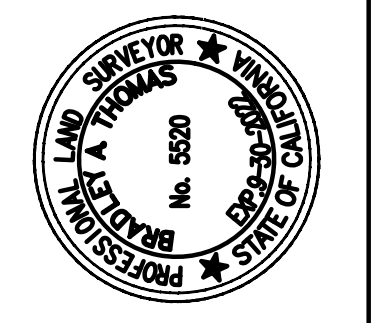


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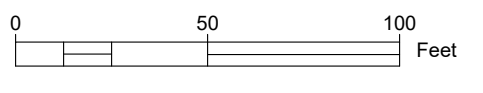
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1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

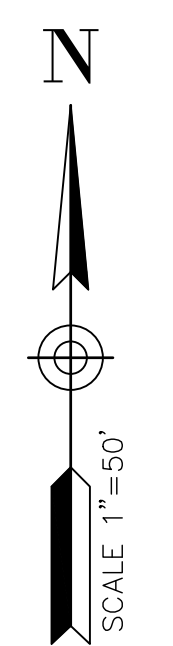
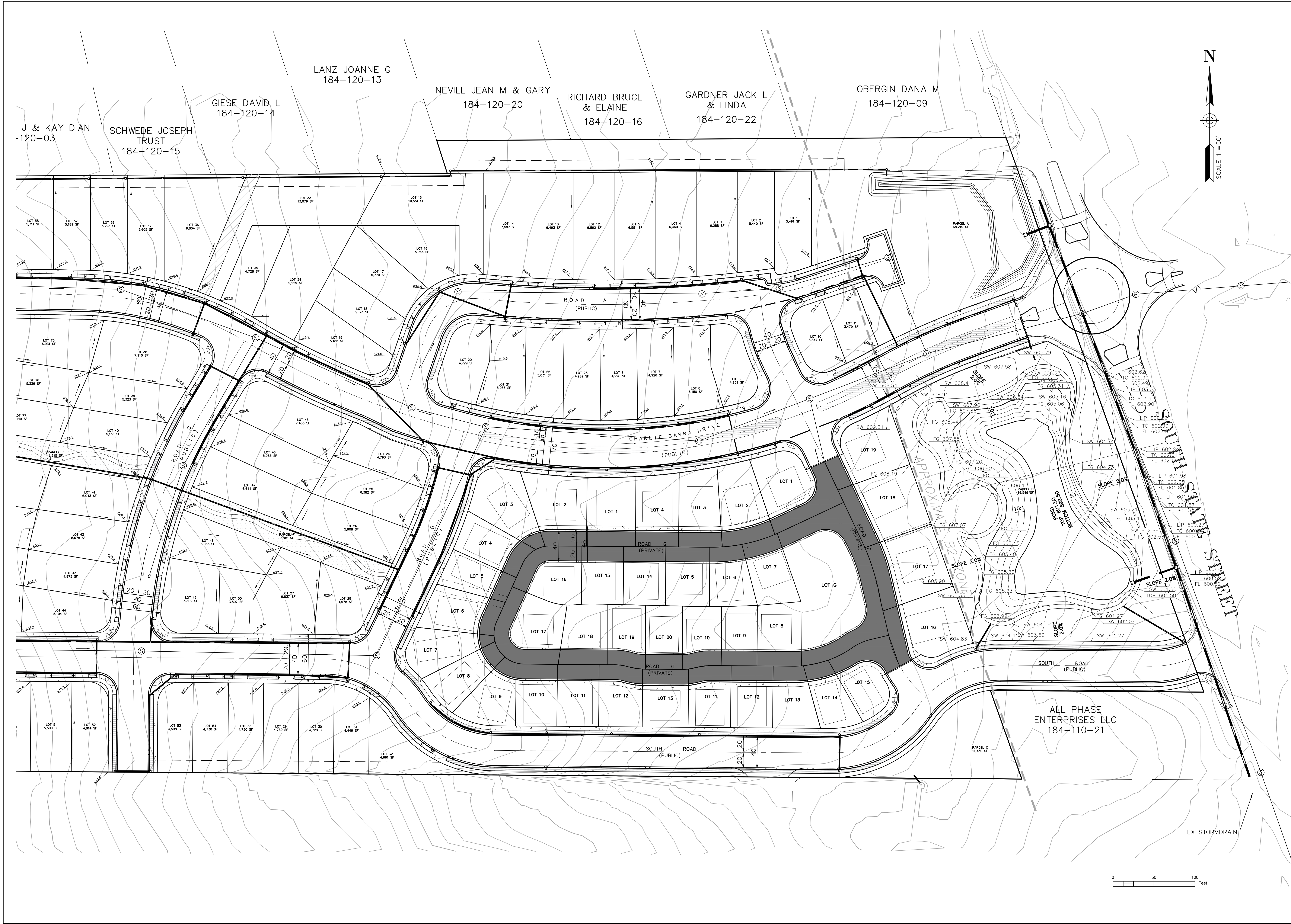
VESTING TENTATIVE MAP
 GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

GRADING & DRAINAGE



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APPROVED	KD
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JOB NUMBER	9100.06
DRAWING	



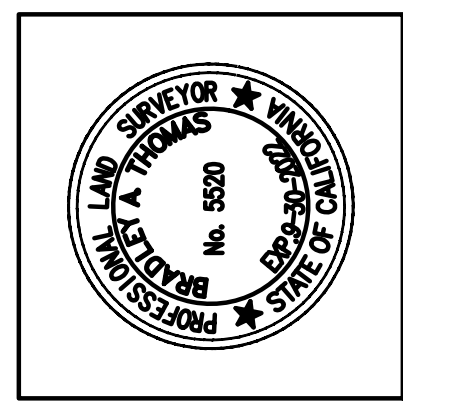


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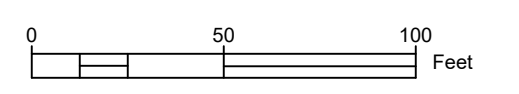
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1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

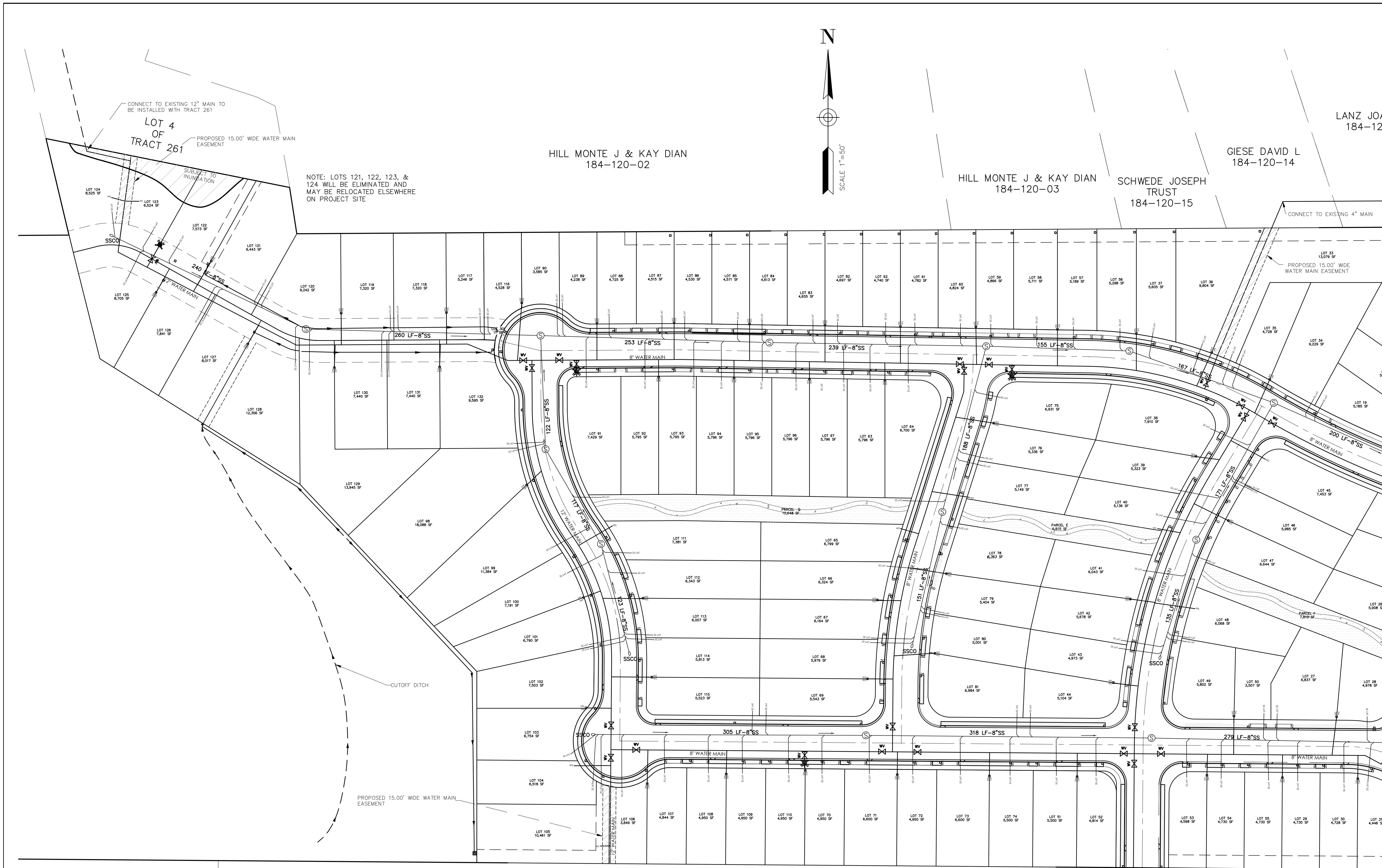
VESTING TENTATIVE MAP
GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

GRADING AND DRAINAGE



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JOB NUMBER	9100.06
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HILL MONTE J & KAY DIAN
184-120-02

HILL MONTE J & KAY DIAN
184-120-03

SCHWEDE JOSEPH
TRUST
184-120-15

GIESE DAVID L
184-120-14

LANZ JO
184-12

NOTE: LOTS 121, 122, 123, &
124 WILL BE ELIMINATED AND
MAY BE RELOCATED ELSEWHERE
ON PROJECT SITE

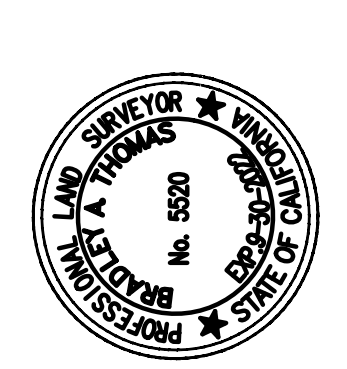
ZAINA VINEYARDS LLC
184-130-39

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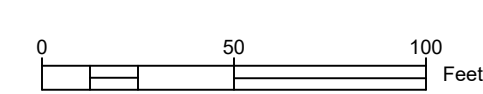
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1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

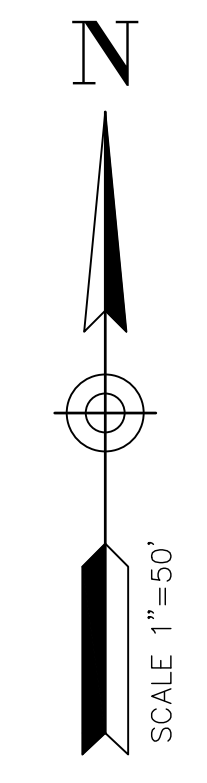
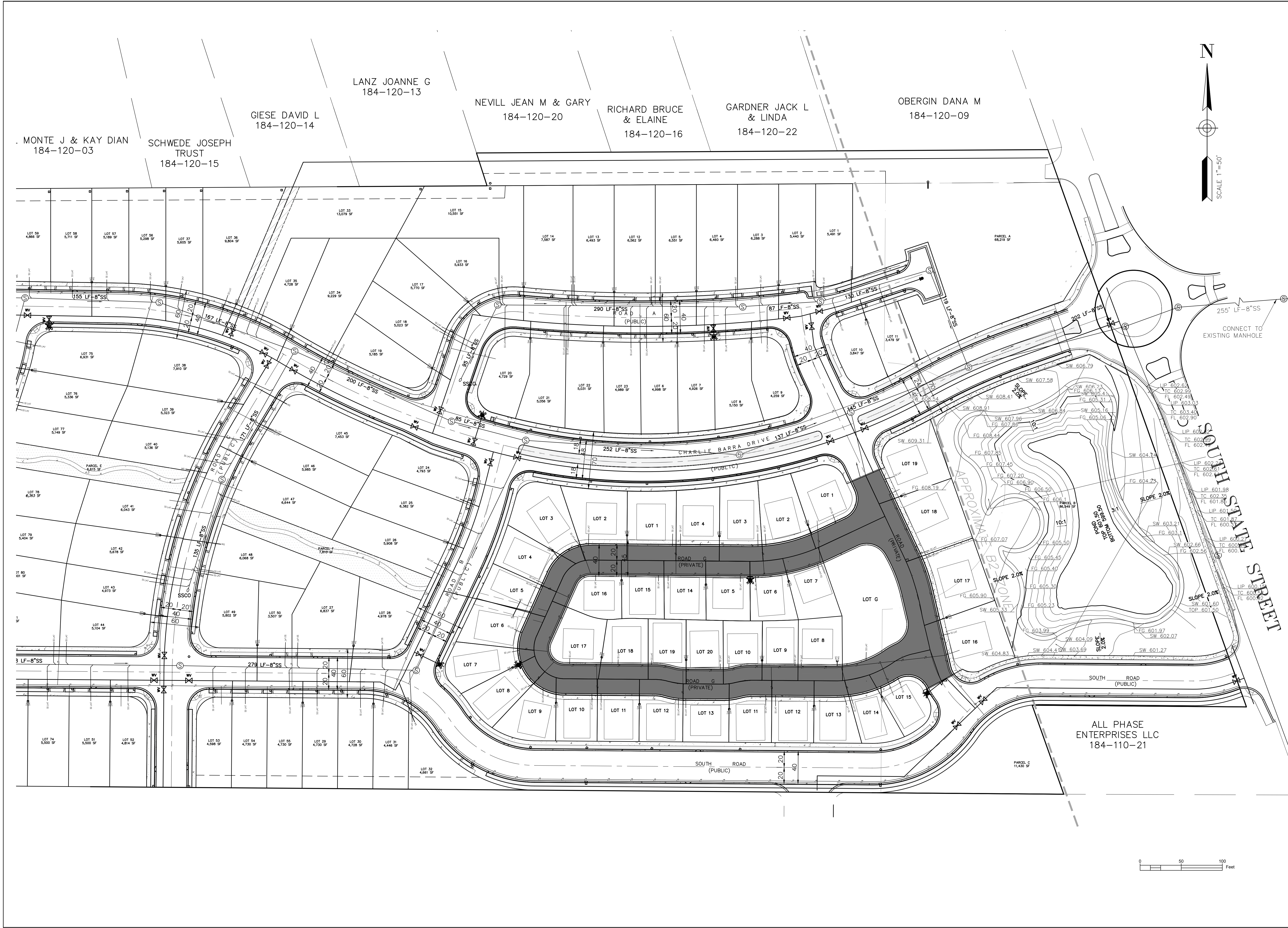
VESTING TENTATIVE MAP
GUILLON INC. CONSTRUCTION
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UTILITIES



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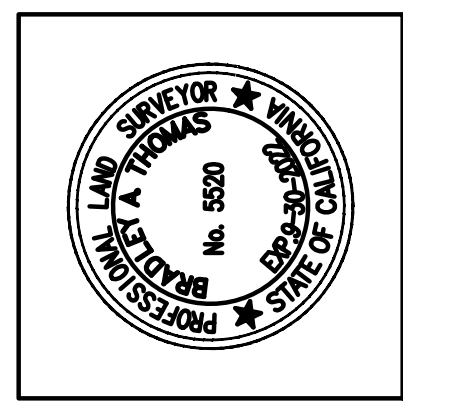


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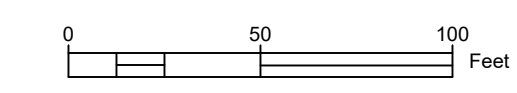
NO.	HISTORY / REVISION	BY	CHK.	DATE
1	ADDRESS COUNTY COMMENTS	X	X	8/28/2020

VESTING TENTATIVE MAP
 GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

UTILITIES



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DRAWING	9/10

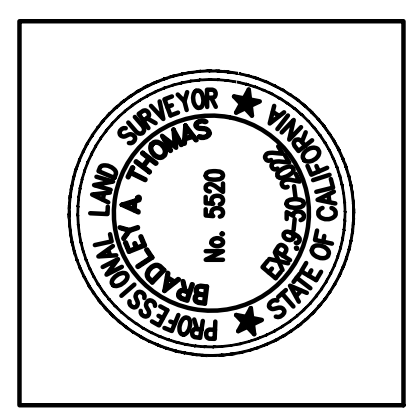


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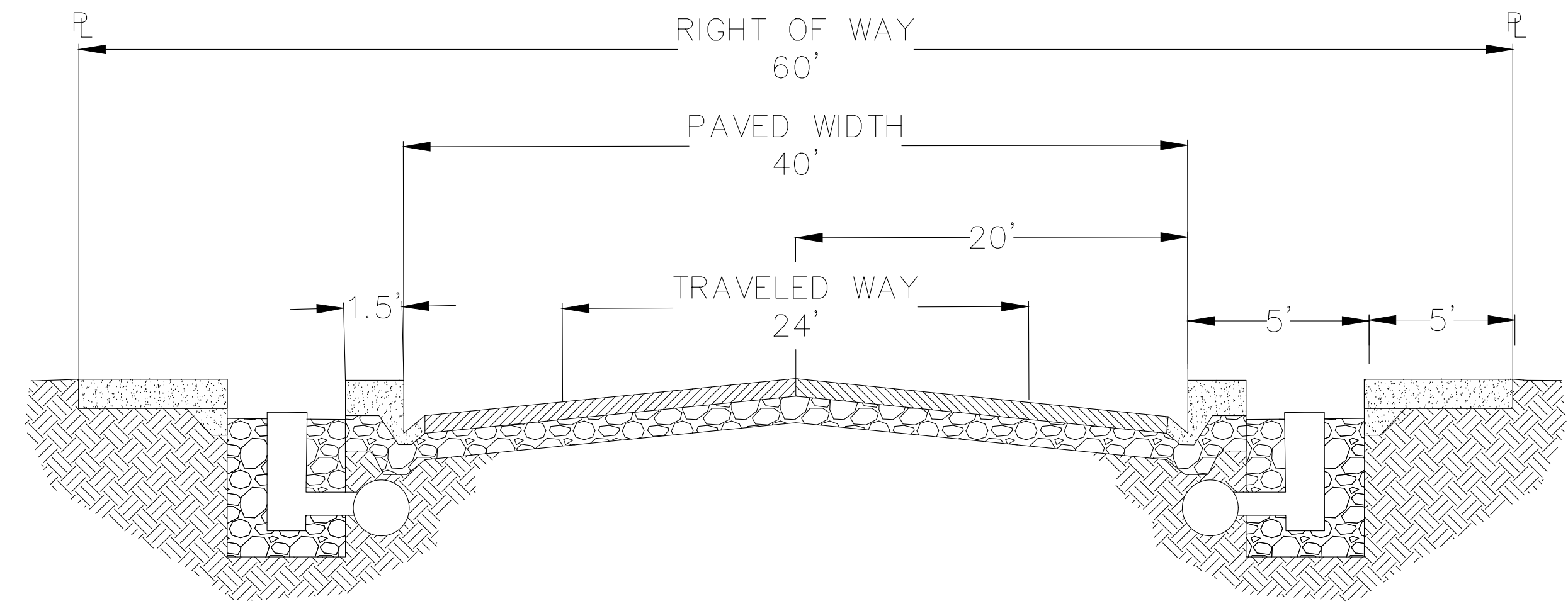
NO.	HISTORY / REVISION	BY / CHK.	DATE
1	ADDRESS COUNTY COMMENTS	X	8/28/2020

VESTING TENTATIVE MAP
 GUILLON INC. CONSTRUCTION
 3000 S STATE STREET, UKIAH, CA 95482

TYPICAL SECTION DETAILS

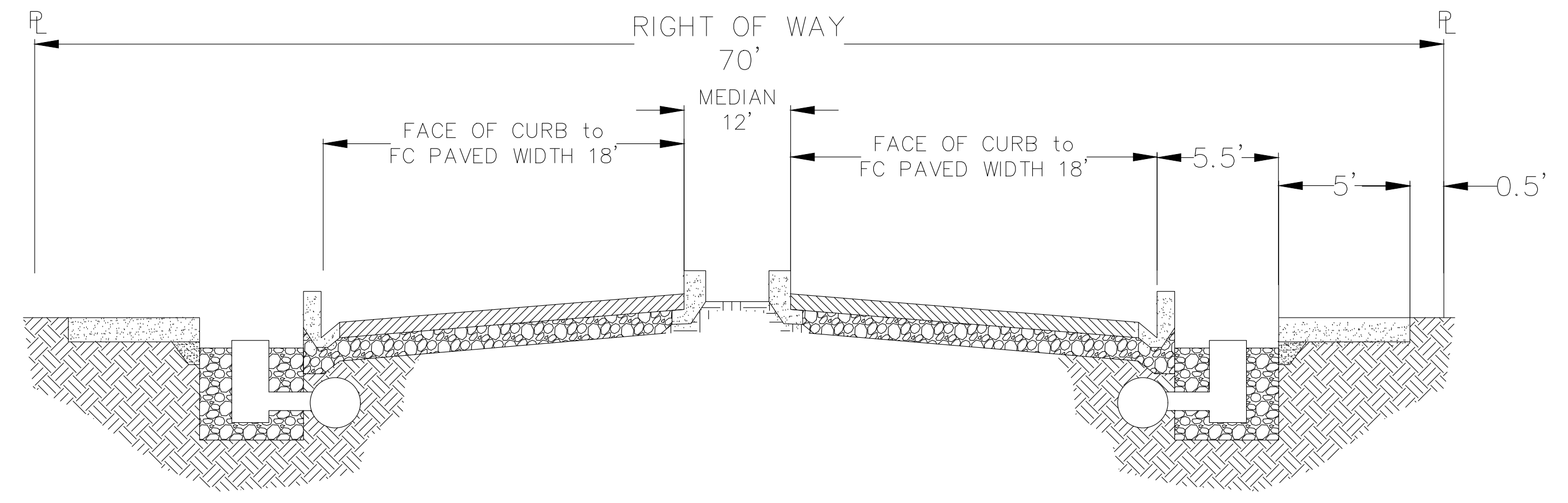


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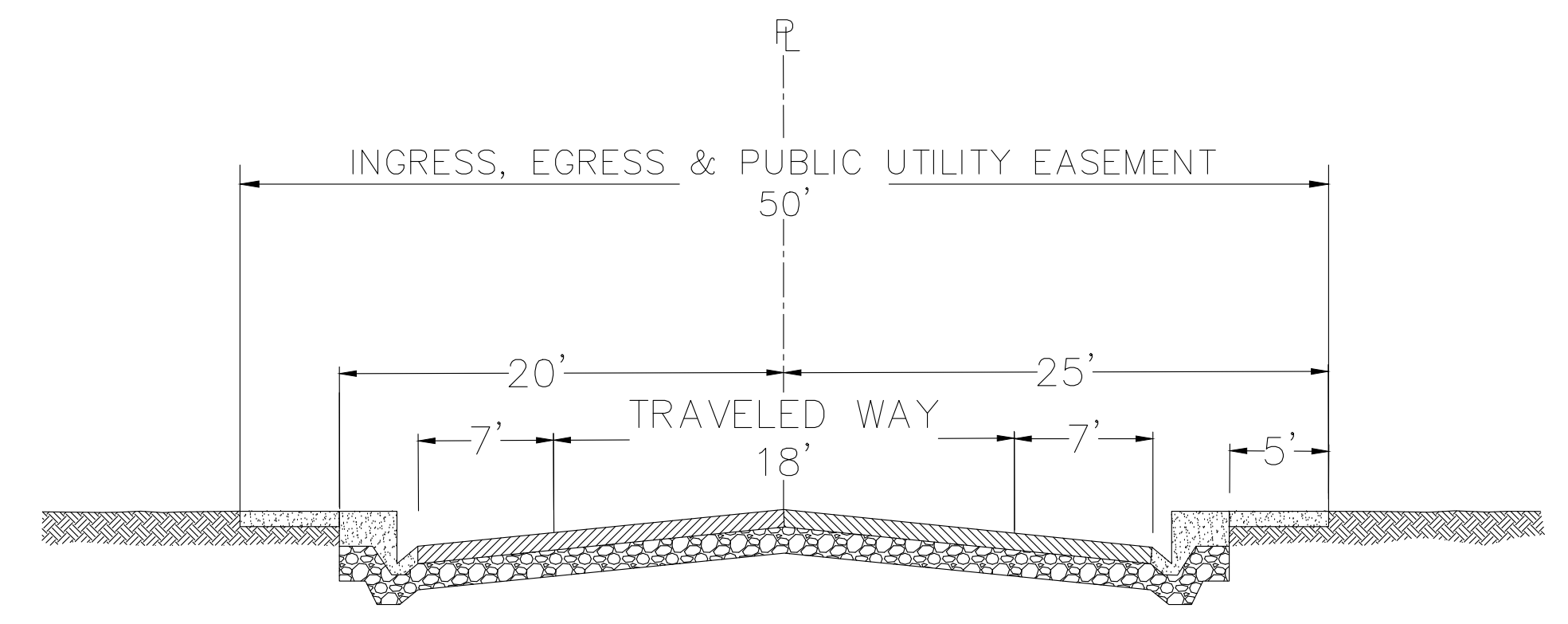
1 TYPICAL ROAD SECTION DETAIL
 N.T.S.

ROAD A, B, C, D, & E, SOUTH ROAD,
 CHARLIE BARRA DRIVE(27+50-38+50)



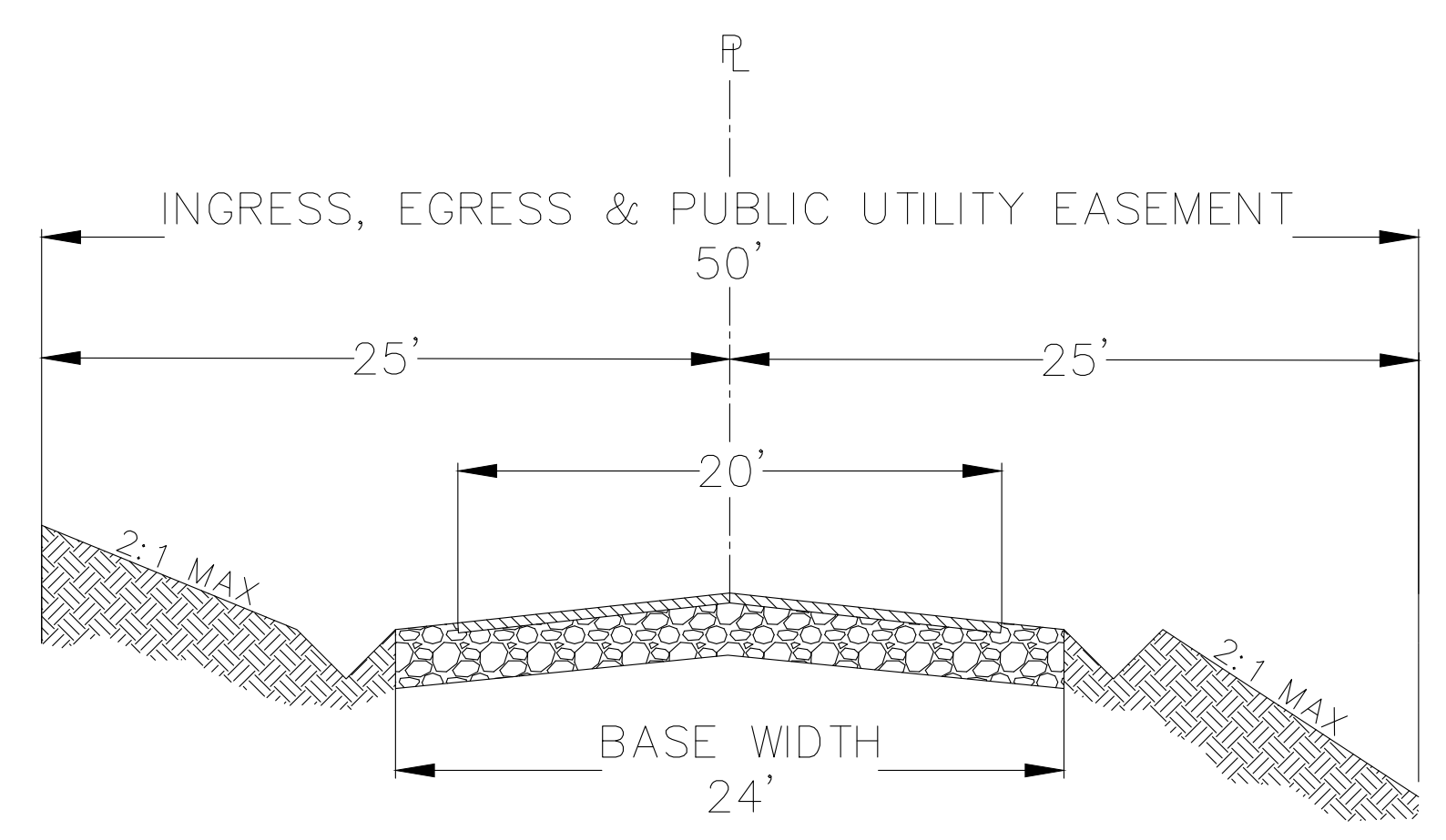
2 LANDSCAPED ROAD SECTION DETAIL
 N.T.S.

CHARLIE BARRA DRIVE
 STATION 20+00-27+50



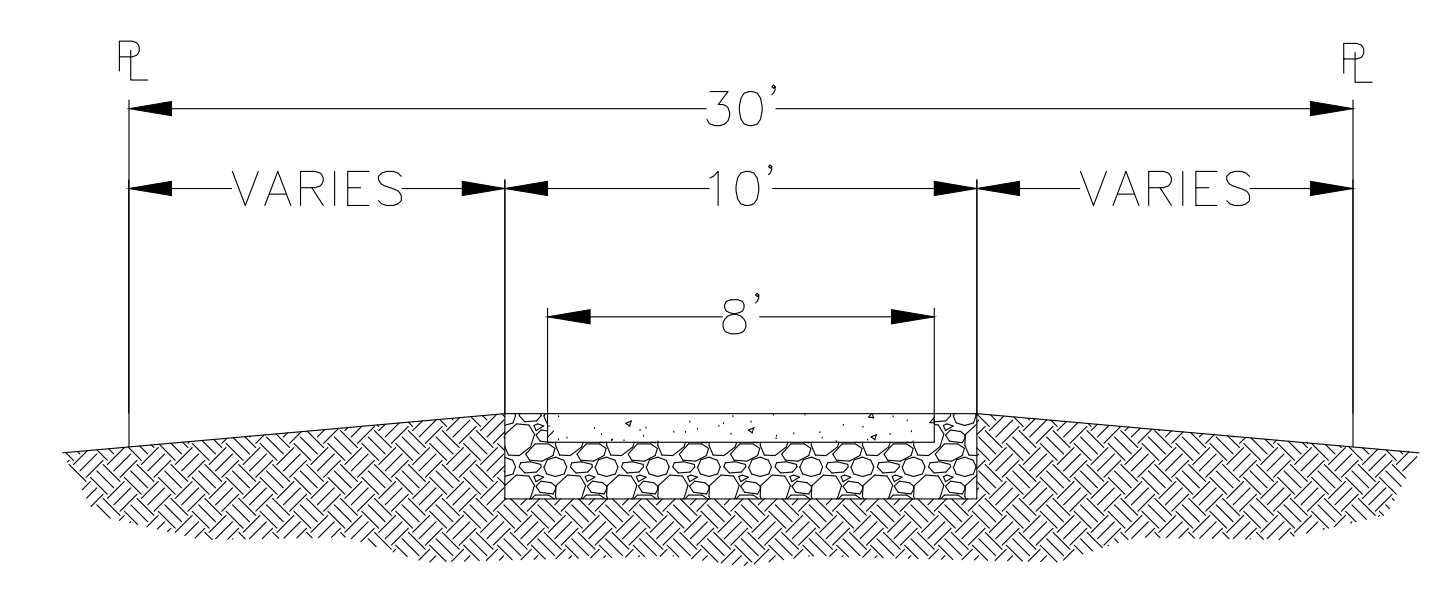
3 REDUCED ROAD SECTION DETAIL
 N.T.S.

ROAD F & G



4 PRIVATE ROAD SECTION DETAIL
 N.T.S.

COUNTRY LANE



5 PARKWAY PATH SECTION DETAIL
 N.T.S.

PARCELS D, E, F,
 & NORTH SIDE OF LOT 17

Revised: August 24, 2022

Bella Vista **Inclusionary Housing Plan**

PROPOSAL:

Mendocino County Code requires all residential projects that create two or more residential lots at the subdivision level to be subject to an Inclusionary Housing Ordinance (Mendocino County Code §20.238.). Residential projects that voluntarily comply with State Density Bonus laws are exempted from Mendocino County's Inclusionary Housing Requirements (Mendocino County Code §20.238.010 (B)).

In this instance, the Bella Vista subdivision utilizes State Density Bonus law by incorporating 39 residential lots that are specifically designated as accessible housing for senior citizens/age-restricted. The proposal also includes a commitment that 10 percent of the balance of the subdivision (non-senior lots), will be restricted to for-sale units for qualifying moderate-income households.

Notably, it is the developer's commitment to building these units that makes a developer eligible for a density bonus and design concessions from the County; the developer is not required to build more units than is allowed by the zoning district. (Gov. Code, §65915(f).) The developer is also seeking a reduction in development standards, as part of its density bonus. The request for a reduction in development standards is similar to that which was granted for previously approved project; 1) reduced minimum lot size, 2) reduced or eliminated setbacks, 3) permit double frontage lots, 4) permit flag lots, and 5) permit access easements.

Senior Housing

Under State law, a "senior citizen housing" development is restricted to qualifying residents who are 55 years of age or older in a senior citizen housing development that contains at least 35 residential units. The proposed age-restricted lots in the Bella Vista subdivision will be reserved for qualifying buyers who meet the requirements of §51.3 and § 1.12 of the California Civil Code.

Moderate Income Housing

The balance of the subdivision (i.e., the non-age restricted portion), will have a total of 10 percent of the housing units dedicated to buyers who initial qualify as a designated moderate-income household (Gov. Code, §65915(c)(2)).

Upon resale of the moderate-income homes, the seller of the unit shall retain the value of any improvements, the down payment and the seller's proportionate share of appreciation and the County shall participate in equity sharing as outlined in the Government Code (Gov. Code §65915(c)(2)). The developer is not seeking any financial incentives, fee waivers, reductions in dedications requirements and no public funds are being used to construct the moderate-income units, therefore no additional equity sharing or other regulations apply.

Cottage Details

As noted in the Mendocino County Housing Element Update (2019-2027), the senior population of the County (in this case noted as 65 or older) represents 20 percent of the County's population or 17,221 persons. Of that, 84 percent of the senior households in the unincorporated County own

their home, while 16 percent are renters. In addition, 3,025 seniors, or approximately 63 percent, live alone in the unincorporated portions of the County.

Senior households may have special housing needs due to fixed or limited incomes, increased health care cost, or physical limitations. Many seniors have limited funds for housing, housing repairs or modifications, or assistance for everyday living. As noted in the Housing Element, because some seniors require proximity to health care or supportive services, priority should be given to housing opportunities in more urbanized areas.

One goal of the Cottages is to cater to this growing demographic that consists of adults that are nearing or at retirement age. Although some individuals remain in their homes throughout retirement, this demographic group is more inclined to “trade down” to smaller homes. Trading down has the effect of creating housing opportunities for younger generations

This type of cottage neighborhood creates a setting in which watchfulness is increased and neighbors are on a first-name basis. Residents take part in a higher level of care and oversight of the grounds and each other, thereby enhancing the sense of security, identity and wellbeing. Because of the shared space and the daily flow of life through the site, nearby neighbors who offer ‘nodding hellos’, or stop to chat on the porch. These casual conversations can eventually grow to caring relationship and a meaningful sense of community, fostering a high quality of life.

The Cottages at Bella Vista will accommodate a variety of lot sizes and contain vehicle, pedestrian and landscape easements, rather than common interest areas. The homes themselves will range from 900 square feet to approximately 1,400 square feet. They will be single story and a maximum of 22' in height. Homes are designed to allow individuals to age in place, with such subtle details as zero thresholds and wider hallways as well as accessible bathrooms, door hardware, etc.

The homes will be placed on their respective lots in a manner to allow all lots access to shared open areas and internal walkways. Parking will be provided on each lot, as well as within the roadway easement. The design of the cottages will make them feel and look like part of the overall project, while also providing for a separate livable community.

The senior housing site itself will be secured, with individual homes around the perimeter of the site and fencing in between them. The site will also feature a vehicle access that is gated, with the main entrance off of Charlie Barra Road (north entrance) to provide access to residents, service vehicles and guests, while the entrance on the south end will accommodate residents only.

The private outdoor areas will be extended just beyond the footprint of the individual homes. These areas will be secured with a small fence and will be large enough to accommodate a private porch. This private area will accommodate individual personal desires, such as an area for a dog or outdoor furniture. Private outdoor areas will be maintained by the individual homeowner.

The shared areas will consist of pedestrian path that runs in an east-west direction, connecting the senior neighborhood to the pedestrian path that is located within the greater Bella Vista project. This path will also connect to the Cottage Park within the senior neighborhood, as well as Neighborhood Park that abuts the senior neighborhood on its eastern border.

Cottage Park will include a pavilion with features designed to encourage socializing among the residents of the senior neighborhood. The pavilion will contain approximately 300 square feet of solid roof area and with flat work (pavement) extending out for an additional 250 square feet.¹ This extension would allow for the pavilion to have both shaded and unshaded active use area to host events and gatherings. The pavilion area will be connected to other improvements within Cottage Park through pedestrian pathways, further expanding the connectivity and usability of the area, beyond the immediate footprint of the pavilion.

The space within the pavilion will have an outdoor ceiling fan, an electric space heater, and lights—all of which will be on timers. Improvements to this space will include columns that are enhanced with stone wainscoting, seating areas incorporated into one side of the perimeter, and a version of privacy slats or wall will be incorporated on another side. A countertop installed on one side of the perimeter will feature a grill. Outdoor furniture will also be present, but not affixed to the ground so that users may move and organize the furniture to accommodate their specific needs. The pavilion will contain partitioned walls, allowing the structure to be opened or closed depending on the users' preference.

The shared spaces will be maintained by the Homeowners Association through a third-party landscape company to ensure plant life survivability, consistency of maintenance and aesthetics preservation.

Moderate Income Housing Details

The moderate-income homes will be built in Phases 3, 4, 5 and 6 as the senior housing units will be constructed within Phase 1 and 2. A minimum of three (3) moderate income homes per phase will be built in Phases 3, 4, and 5, with the balance of the units as necessary to meet the 10% commitment to be constructed in Phase 6. The location of the moderate-income lots will be identified on the Subsequent Final Map for each phase and the residential design and landscaping for the moderate-income units will be established on the Master Building Design Plan and Landscape Plan to be submitted in conjunction with each Subsequent Final Map.

The design of the moderate-income homes will be the same as those elsewhere within the non-age-restricted portion of the project, with street appearance, exterior finishes and structure size mirroring those found within the overall project.

Project Detail	Gardens Gate – As Approved	Bella Vista – As Modified
Number of Total Lots	197	171
Number of Gross Acres	46 Acres	48.8 Acres
Total Density	4.3 Units Per Acre	3.5 Units Per Acre
Smallest Lot	775 Square Feet	3,110 +/- Square Feet

¹ Note: A condition of approval for the Amended Tentative Map requires that: "The Subdivision Improvement Plans for the Senior Neighborhood shall include a covered pavilion within the Cottage Park that is a minimum of 585 square feet in size and includes an outdoor ceiling fan, electric space heater(s), lighting and a counter with a grill. Moveable partitions shall be provided so that the pavilion can be enclosed in inclement weather."

Largest Lot	20,104 square Feet	18,088 Square Feet
Parkland Dedication	2.31 Acres	2.82 Acres
Private Common Area	0 Acres	0.24 Acres
Total Open Space Areas	2.31 Acres	3.03 Acres
Parkland Improvements	Baseball/Soccer Field Picnic Tables Play Structure Walking Path Trees and Landscaping	Youth Sports Field Picnic Tables Play Structure Walking Path Trees and Landscaping
Total Impervious Surface Area (ROW, Sidewalks & Alleys)	10.6 Acres	8.3 Acres
Access Points from South State Street	2	2
Future Connectivity to the South	5	2
Compliance with IHO	State Density Bonus Law	State Density Bonus Law
Type of SDBL Housing Units	36 Moderate Income Units	39 Age Restricted Units and 10% of traditional lots dedicated to Moderate Income buyers.
Overall Housing Dedicated to SDBL Compliance	18 Percent	30 Percent
Reduction in Development Standards:	<ol style="list-style-type: none"> 1. Reduced minimum lot sizes. 2. Reduced or eliminate setbacks. 3. Permit double frontage lots. 4. Permit Flag lots. 	<ol style="list-style-type: none"> 1. Reduced minimum lot sizes. 2. Reduced or eliminate setbacks. 3. Permit double frontage lots 4. Permit Flag lots 5. Permit Access Easements 6. Modify standards for fencing on street frontages

General Plan and Ukiah Valley Area Plan

The Housing Element of the Mendocino County General Plan calls for the development of housing, including Policies and Actions that are specific to seniors:

POLICY 3.1 Encourage the development of an adequate supply of housing and range of housing densities and types to meet the diverse needs of County residents.

- Action 3.1a Work with developers to include a variety of housing types, such as smaller single-family homes, second units, duplexes, and multi-family units, including rental units for lower-income large families and developments exceeding ten residential units, during pre-subdivision consultation and through the Inclusionary Housing development planning process. Consider development incentives such as reduced setbacks, density bonuses, fee assistance, etc.
- Action 3.1b Evaluate the potential for reduced lot sizes or increased residential densities on land classified Rural Community, Mixed Use, Suburban Residential, and Commercial.

- Action 3.5c Provide priority processing by County staff and hearing boards for affordable housing units or special needs housing or supporting infrastructure.

POLICY 4.3 Encourage a range of housing types to address the housing needs of the County's special needs populations, such as seniors, single-parent families, large families, individuals with disabilities, the homeless, Native Americans, and farmworkers.

- Action 4.3: Recognize that the County's aging population will require affordable housing in areas that have access to senior citizen appropriate services. Remote rural communities cannot presently provide adequate services to meet the special needs of senior citizens.

The Ukiah Valley Area Plan calls for the development of housing, including the following Goals and Policies that are specific to seniors:

Goal LU.1: Create compact, mixed-use, and well-balanced communities that can achieve this plan's principles of sustainability.

- Policy: LU 1.1: Promote development and building practices that support healthy communities.
- Policy LU1.3: Promote suitable located housing and services for a range of ages and incomes within the Ukiah Valley.
- Policy LU 1.3d: Diversified Neighborhoods. Encourage the development of well-integrated neighborhoods of single-family and multi-family homes that include owner-occupied and rental housing units in single use and mixed-use environments, with a range of densities and affordability levels.
- Policy LU 1.3e: Residential Areas. Allow residential development in a variety of locations that offer a range of housing densities and housing types.

Revised: January 16, 2023

Bella Vista Design Guidelines Manual

PURPOSE

Neighborhoods should be designed to be distinctive and memorable, as well functional and safe. This multi-generational neighborhood is created to exhibit a unique identity that is appropriate for the context of the community. The following design guidelines are intended to ensure that future residential structures are constructed with sensitivity to the pedestrian-scale and public right of way, while creating variety and interest through architectural elements, colors and materials. The specific materials, finishes and the products shown in the images below may not be available and a substitute will be chosen that meets the purpose and intent of this manual.

NEIGHBORHOOD CHARACTER

The intent of the Bella Vista is to create a neighborhood that has lasting architectural integrity and variety, while also being internally consistent and unified in its design approach. That approach is to develop plans and elevations with appropriate scale, massing and balancing that relate to the human scale and provide aesthetically pleasing transition from the public to private spaces.

HOUSING TYPES

Single Family

The project contains a total of 132 single-family residential lots, for the construction of traditional detached single-family residential homes. Single-family homes will range in size from 1,200 to 2,200 square feet and consist of 3-bedroom, 2-bath homes with a 2-car garage. Homes will be both single and two-stories and will not exceed 28' in height.

Age Restricted Cottages

The proposal includes a total of 39 cottage units that are age restricted and are suited for individuals who want to retain home ownership while dedicating minimal resources to upkeep of the structure and the lot in which it is located. Cottages will generally range in size from approximately 900 to a maximum of 1,400 square feet. There will be both 3-bedroom and 2-bedroom homes with 2 or 1.5 baths, as well as dedicated parking spaces and/or garages. The age-restricted cottages will be single story with a maximum building height of 22'.

HOUSING DESIGN

The homes within the Bella Vista subdivision will be designed with straightforward structures. Master building plans will be provided by the developer and customization may done

by the individual home buyers, not just with interior finishes, but through the choices of exterior colors, roofing material, stonework, lighting and landscaping. This approach will allow the neighborhood to take on a genuine, varied character, where the mosaic of exterior building elevations is unique and diverse from one another.

Architecture Elements

The master building plans for the homes will be modeled after the Craftsman style, which takes its roots in design that includes porches with thick square columns, stonework, and low sloped roofs with wide eaves.

Front Porches: These outdoor living areas allow residents to engage with their neighbors and create a sense of place that allows the homes to engage the street in a pedestrian way. Front patios and porches also allow for passive cooling of the home, while also creating an opportunity for shadow lines.

These spaces are often customized by owners who will typically place colorful planters and pots with flowers or shrubs, outdoor furniture or other ornamental elements within them. This customization provides additional relief in the elevations of each home and adds to the overall uniqueness of the neighborhood. Front porches will be a standard feature on all homes.

Windows: Facilitating natural light into the home, windows enable the occupants to enjoy the views of the neighborhood while also allowing for passive surveillance of the street scape. Large windows will be placed along the front elevation, either in concert with the front patio or a bedroom. Windows will also be placed in the garage doors to further provide interest to the front elevations and to break up large flat elevations.

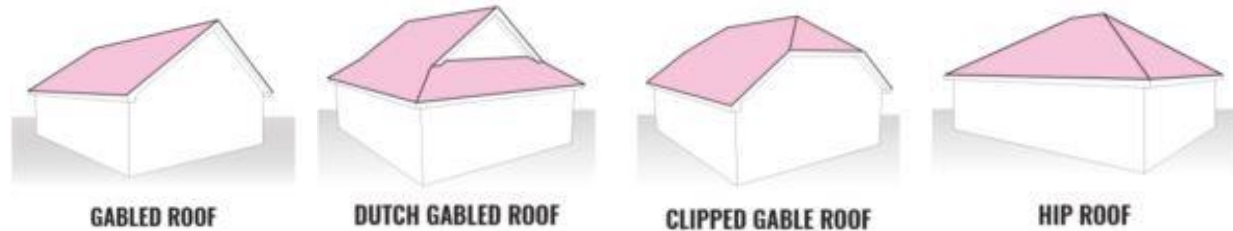
Trim: This subtle window detail allows for structural material to pop-off the structure, creates shadow lines and allow for an additional paint color to be introduced into the home.



Roof Type

The shape, design and slope of a roof can potentially make up a significant amount of a home’s exterior, often playing a big role in its overall look and curb appeal. For Bella Vista, the roof lines are proposed to be low in profile, while also offering an opportunity to provide design interest and structural character.

As illustrated below, the type of roof type allows for a mix of materials to be utilized in the elevation and brings further diversity into the elevations.



Roof Slope

Generally speaking, the higher the roof pitch (steepness) the more the roof's appearance plays in the overall look and curb appeal of the home. For Bella Vista, in order to not allow the roof to dominate the streetscape, roof slopes will be kept to appropriate proportions as illustrated below.



Roof Material

Roofing material will consist of Asphalt Shingles, which are one of the more popular materials to utilize and can last up to 30 years. Asphalt Shingles come in two standard options: 3-tab and Dimensional.

For Bella Vista, to provide additional aesthetic appeal; casting more distinction, with random shadow lines and a longer durability the project will utilize Dimensional Shingles.



3 Tab: Flat and Uniformed, one color shade and no depth. Not to be utilized



Dimensional: Multi-color shades with depth and appeal. To be utilized.

Roof Colors

To bring a more dynamic look to a home, using a darker colored shingle can make a huge difference and bring beautiful contrast. Some colors are not simple gray and black but include light greens and blues and neutrals like beige. Matching the siding with the roof is important to boost aesthetics, curb appeal and ensure the colors don't clash. Shingles will be provided by either Tamko or Owens Corning and some colors will vary (with slight intensified or subdued colors), but will generally be limited to the below.



HERITAGE® BLACK WALNUT



HERITAGE® HARVEST GOLD



HERITAGE® MOUNTAIN SLATE



HERITAGE® NATURAL TIMBER



HERITAGE® THUNDERSTORM GREY



HERITAGE® AUTUMN BROWN



HERITAGE® DESERT SAND



HERITAGE® GLACIER WHITE



HERITAGE® OLDE ENGLISH PEWTER



HERITAGE® WEATHERED WOOD

Exterior Colors

Exterior colors will utilize Kelly Moore paint brands from their California Lifestyle Palette, which consists of 140 specific colors. Body colors options will be primarily kept to shades of brown, gray and tans, while accent colors will consist of bold, bright colors used for doors or trim. Below colors are provided as a guideline of sample of colors that are available.

Main Body Colors – Examples:



Accent Colors – Examples:



Exterior Materials and Finishes

The exterior materials on Bella Vista homes will consist of HardiPlank, stucco and stone, with HardiPlank being the dominate element and stone used for decorative purposes.

HardiPlank: This durable siding material is a fire-resistant and long lasting, cement-based product that can be placed on the structure in both horizontal and vertical form. The boards can either be smooth or have a soft texture that mimics wood. This material also creates shadows lines and additional interest along the façade of each structure.

Stucco: This siding material is made of Portland cement, sand, lime and water. It is typically applied in three coats. It provides a solid, durable and seamless exterior, with the advantage of being natural resistant to fire, lasting durability and low maintenance.

Stone: To add additional variety and interest to each home, stone wainscoting will be utilized in specific areas, typically on columns and at the garage. Types of stones finishes will be chosen by the individual home buyer. A sample of stone types are illustrated below:



CaminoAdobe®
1 color available



CapistranoAdobe
2 colors available



Coarsed Stone
1 color available



Coastal Ledge
1 color available



Cobblestone
1 color available



Fieldledge®
5 colors available



Hillstone®
3 colors available



Limestone
6 colors available



Mountain Ledge
7 colors available



Rustic Ledge®
6 colors available



Stacked Stone
13 colors available

Lighting

Exterior lighting will be architecturally integrated with the character of the structures, and will be energy-efficient and shielded, frosted or recessed to comply with night sky requirements and will be in compliant with existing mitigation measures (MM 3.8.F.1). Structural lighting will be placed at the garage and at the front door. Allowing home buyers to pick these architectural elements, provides for further streetscape interest and variety and reduces redundancy.

Acceptable Examples



Unacceptable Examples



Residential Landscaping

Often overlooked in the design of a home, landscaping provides for an additional opportunity to provide elevation relief, softening of the homes and insert additional interest which can last throughout the year with changing foliage and blossoming flowers. Because this detail will be chosen by the buyer, landscaping will be equally diversified just as the elevations of each home are.

Landscaping will incorporate AB 1881 (The Water Conservation in Landscaping Act of 2006) standards, which promotes water efficiency and conservation, using bubblers and timed sprinkler systems. Mulch ensures adequate moisture is provided to the plant and creates a healthy soil, while minimizing evaporation.



Example of diverse landscaping that provides a variety of colors: purples, greens, tans; while the stone work helps re-enforce the separation between public-private areas.

Common Area Landscaping and Amenities

In addition to the residential landscaping, additional plant material will be placed in the common areas of the project. These common areas consist of the Neighborhood Park, Cottage Park (which is located within the age restricted neighborhood), and the Linear Park, as well as the planter strips along each street. With the exception of the sod area within the Neighborhood Park, that also doubles as a biofiltration and detention pond, all landscaping within the common areas will meet Water Conservation standards as noted above.

Neighborhood Park -

Along South State Street, the Neighborhood Park will be located, allowing for an immediate aesthetic gateway element to the project. The 1.96-acre site will be ringed with a pedestrian walk, which will also have benches or boulders for sitting. Because the park doubles as a biofiltration and detention pond to meet Low Impact Development standards, the center of the park will contain sod. This sod area can be used for active play, such as an after school little league or soccer practice or to throw a frisbee or play catch. Active play structures or elements will also be provided.



Cottage Park –

Cottage Park, the 0.24-acre common shared space within the age-restricted portion of Bella Vista will consist of a passive landscaping, walking paths with bollard lighting, sitting areas with tables and group mailboxes, with the main design element being a shaded pavilion.

The pavilion will contain approximately 300 square feet of solid roof area and with flat work (pavement) extending out for an additional 250 square feet. This extension would allow for the pavilion to have both shaded and unshaded active use area to host events and gatherings. The pavilion area will be connected to other improvements within cottage park through pedestrian pathways, further expanding the connectivity and usability of the area, beyond the immediate footprint of the pavilion.

The space within the pavilion will have outdoor ceiling fan, an electric space heater, and lights. All of which will be on timers. Improvements to this space will also consist of columns that are enhanced with stone wainscoting, with seating areas incorporated into one side of the perimeter, while a version of privacy slates or wall will be incorporated on another side. A counter top will also be installed on one side of the perimeter that will also feature a grill. Outdoor furniture will also be present, but not affixed to the ground so that owners within the project may move and organize the furniture to accommodate their specific needs. The pavilion will contain partitioned walls, allowing the structure to be opened or closed upon the end user's preference.¹



¹ Note: A condition of approval for the Amended Tentative Map requires that: "The Subdivision Improvement Plans for the Senior Neighborhood shall include a covered pavilion within the Cottage Park that is a minimum of 585 square feet in size and includes an outdoor ceiling fan, electric space heater(s), lighting and a counter with a grill. Moveable partitions shall be provided so that the pavilion can be enclosed in inclement weather."



Linear Park –

This is a 30-foot wide by approximately 930-foot long park connecting the western end of the subdivision to the Neighborhood Park and Cottages. The area will be light on amenities and will be landscaped with drought tolerant plantings and contain dry creek beds, large boulders to accommodate sitting and resting, a 6' to 7' wide paved walking path and may include little free libraries and group mailboxes.



Fencing

Traditional 6-foot cedar fences will be installed along the side and rear property lines of each lot, including corner lots. Generally speaking, the fence design will be one of a “good neighbor” design, which alternates the fence boards between each other linear fence railing. Fences along the side yard of corner lots will be setback 5-feet from the back of sidewalk, to permit landscaping in the area to soften the appearance of the fence along street frontages. Homeowners may elect to install fencing along the front property line sometime in the future, so long as it is at a height consistent with the Mendocino County zoning ordinance.



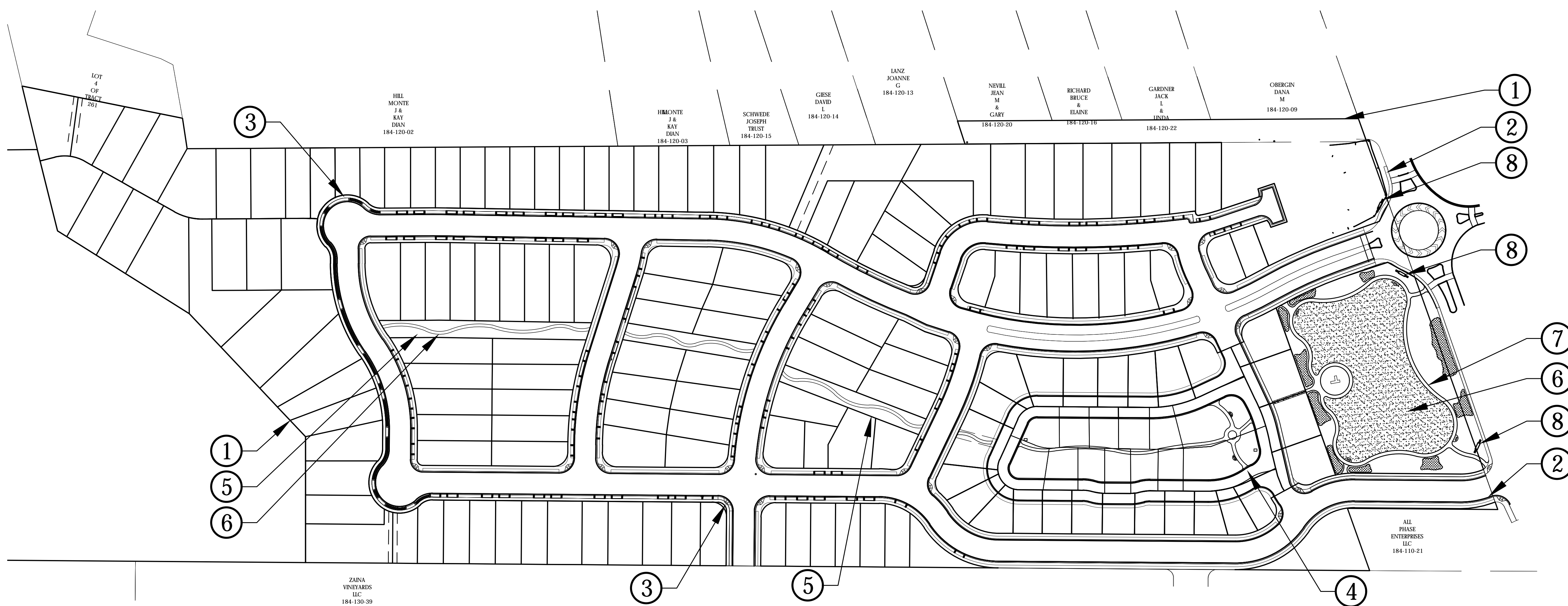
The most common good neighbor fence, which alternates the fence boards.



Five-foot side-yard fence setback from sidewalk to allow plantings to soften the fence and to not create a “wall effect” with a fence along the back of sidewalk.

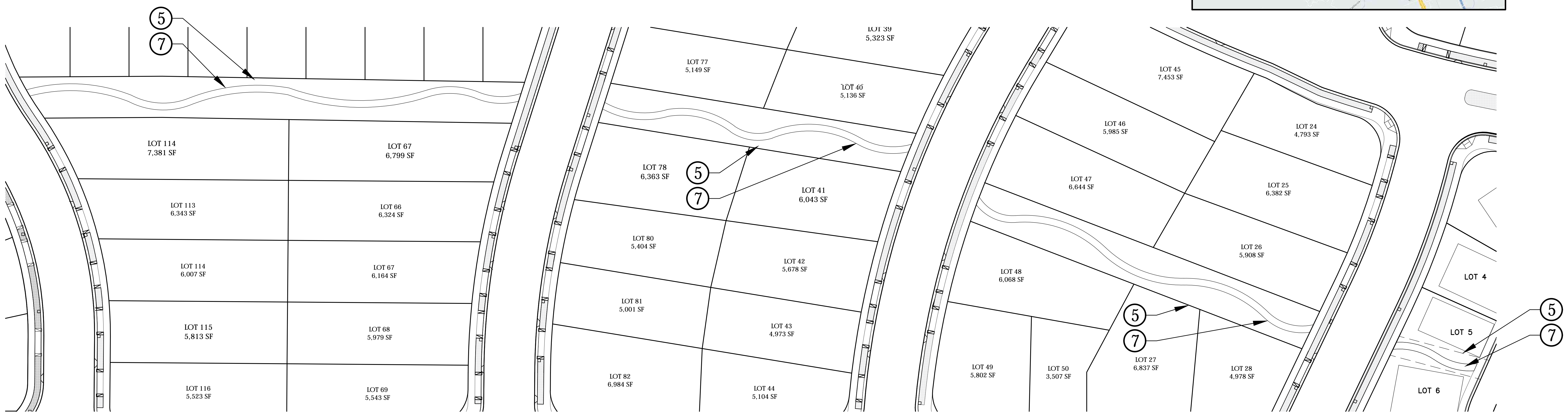
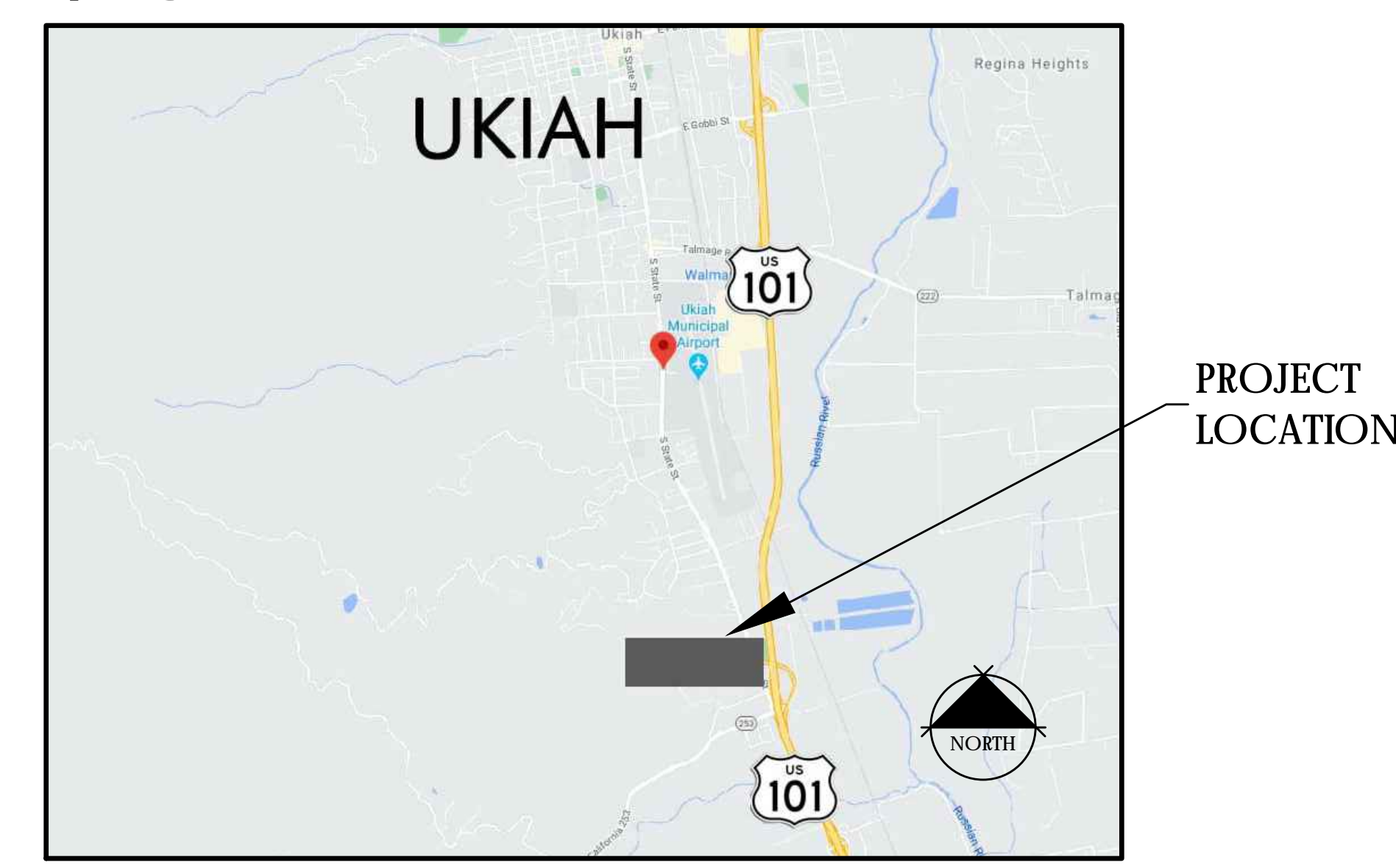
PLAN LEGEND

SYMBOL	DESCRIPTION
①	LIMIT OF WORK
②	COUNTY SIDEWALK. SHOWN FOR REFERENCE ONLY.
③	INTERIOR CONCRETE WALKWAYS
④	SENIOR PLAZA AREA. SEE SHEET L-0.3 FOR MORE INFORMATION.
⑤	LINEAR PARK
⑥	2 ACRE COMMUNITY PARK. SEE SHEET L-0.4
⑦	6' TO 7' WIDE CONCRETE OR CRUSHED ROCK PATHWAY.
⑧	ENTRY MONUMENT



OVERALL SITE
SCALE: 1" = 100'-0"

VICINITY MAP



LINEAR PARK
SCALE: 1" = 30'-0"

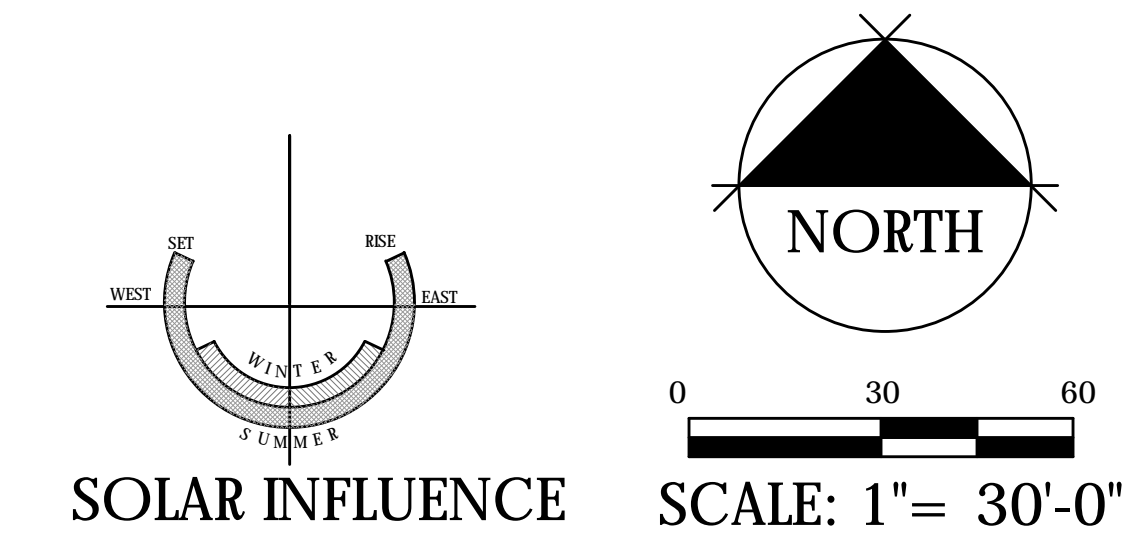
BELLA VISTA SUBDIVISION

PRELIMINARY LANDSCAPE SITE PLAN

Prepared for:
 Jake Morley
 Guillon Inc. Construction
 2550 Lakewest Drive, Ste 50
 Chico, VCA 95928

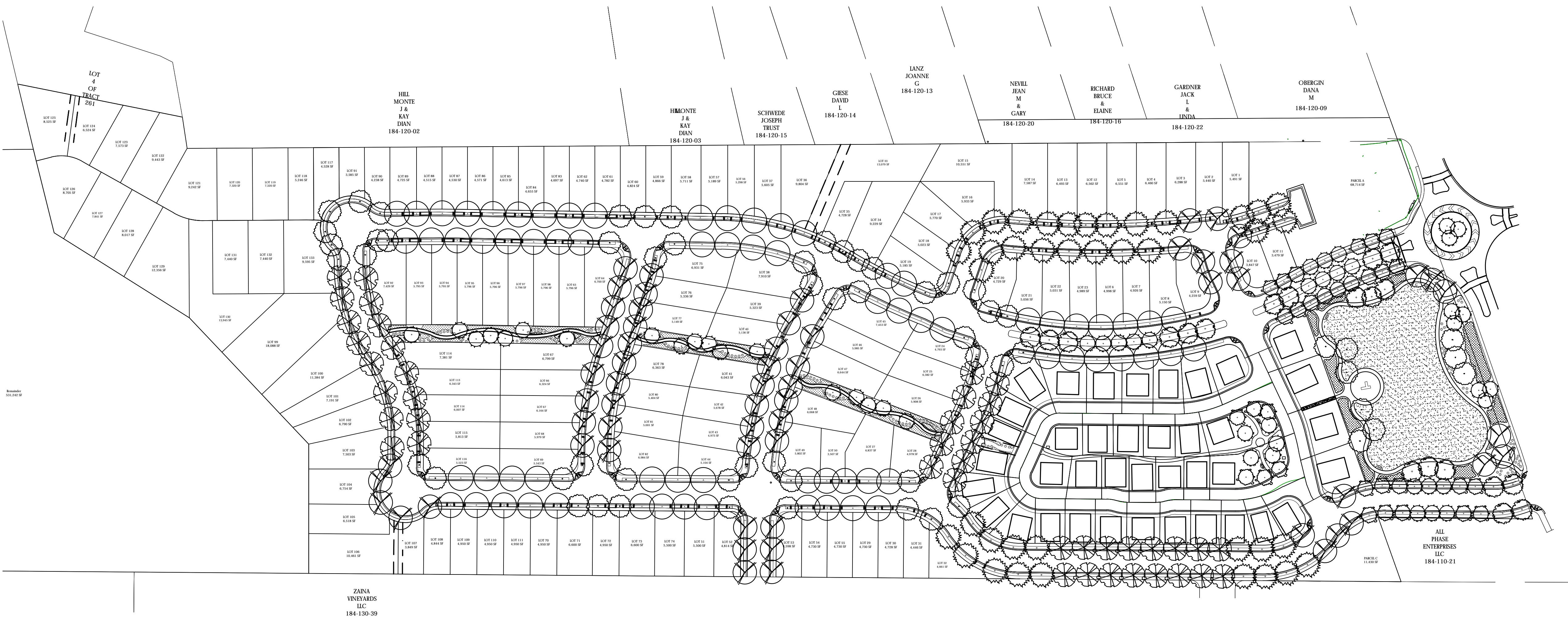
SHEET L-0.1

DATE: NOVEMBER 6, 2020
 PROJECT NUMBER: 2235
 DRAWN: TDB
 Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
 627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
 PHONE: (530) 899-1130 www.BFLAdesign.com

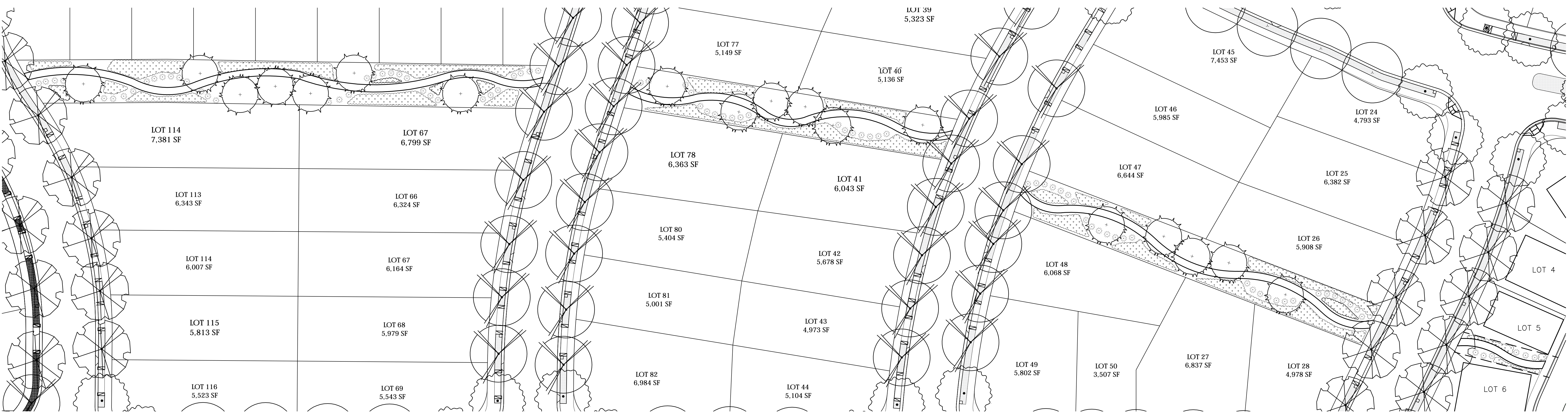


TREE & SHRUBS LIST

SYMBOL	LATIN NAME/ COMMON NAME	SPREAD	CONTAINER SIZE
TREES			
	ACER CAMPESTRE FIELD MAPLE	25'	24" BOX STD. FORM
	CARPINUS BETULUS EUROPEAN HORNBEAM	25'	15 GALLON STD. FORM
	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD GINKGO	30'	15 GALLON STD. FORM
	CERCIS CANADENSIS EASTERN REDBUD	35'	24" BOX STD. FORM
	ACER RUBRUM RED MAPLE	35'	24" BOX STD. FORM
	CELTIS OCCIDENTALIS AMERICAN HACKBERRY	35'	24" BOX STD. FORM
	CELTIS SINENSIS CHINESE HACKBERRY	40'	24" BOX STD. FORM
	PISTACHIA CHINENSIS 'KEITH DAVIES' SEEDLESS CHINESE PISTACHE	40'	15 GALLON STD. FORM
SHRUBS & GRASSES			
	MIX OF NATIVE GRASSES AND SHRUBS	3'-4'	1 GALLON
	NATIVE GROUNDCOVER	3'-4'	1 GALLON



OVERALL SITE
SCALE: 1" = 100'-0"



LINEAR PARK
SCALE: 1" = 30'-0"

LANDSCAPE IRRIGATION

LANDSCAPE IS LOW WATER USE SHRUBS IRRIGATED BY MEANS OF A LOW VOLUME DRIP IRRIGATION SYSTEM AND MEDIUM WATER USE TREES IRRIGATED WITH BUBBLERS. ALL IRRIGATION WILL BE OPERATED BY MEANS OF AN AUTOMATIC IRRIGATION CONTROLLER.

THE IRRIGATION SYSTEM WILL UTILIZE A FLOW SENSING/ MASTER VALVE ASSEMBLY THAT WILL SHUT THE SYSTEM DOWN IN THE EVENT OF A LINE BREAK SO AS TO PREVENT WASTING WATER AND DAMAGE TO LANDSCAPE. IT WILL ALSO FEATURE AN EVAPOTRANSPIRATION/ RAIN/ FREEZE SENSOR WHICH ADJUSTS THE IRRIGATION SCHEDULE BASED UPON REAL-TIME CONDITIONS IN ORDER TO PROVIDE THE MINIMUM AMOUNT OF IRRIGATION FOR OPTIMAL PLANT GROWTH.

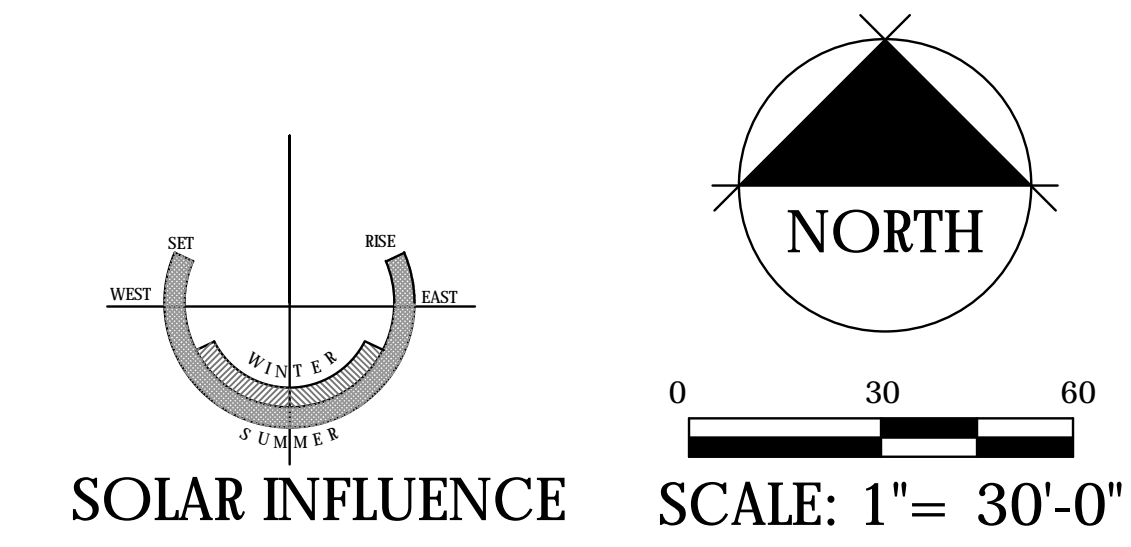
BELLA VISTA SUBDIVISION
PRELIMINARY LANDSCAPE PLANTING PLAN

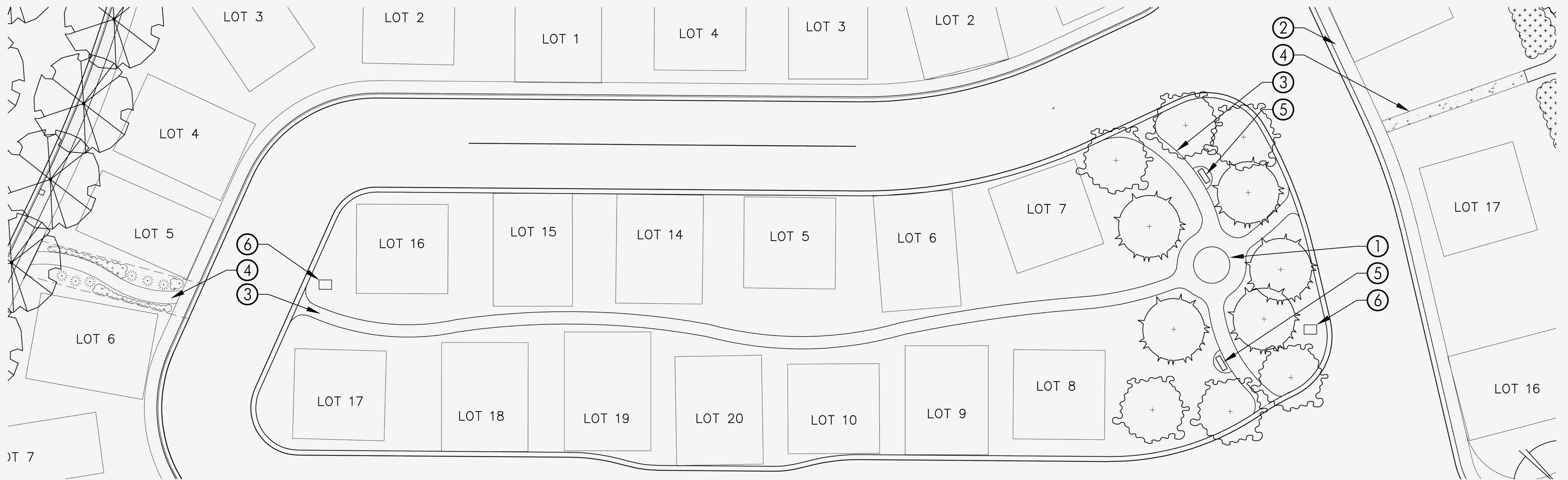
Prepared for:
Jake Morley
Guillon Inc. Construction
2550 Lakewest Drive, Ste 50
Chico, VCA 95928

SHEET L-0.2

DATE: NOVEMBER 6, 2020
PROJECT NUMBER: 2235
DRAWN: TDB

Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130 www.BFLAdesign.com

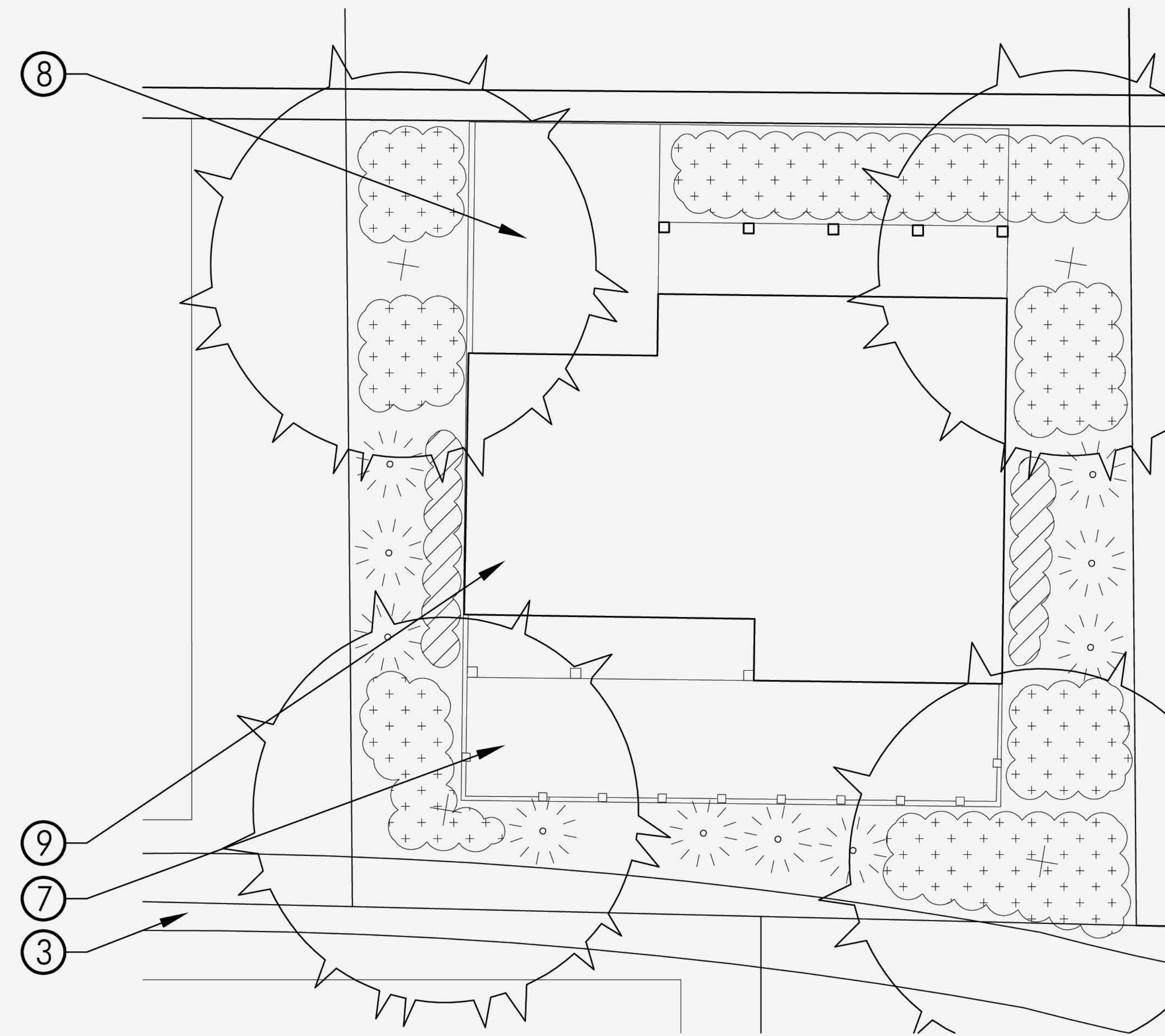




SENIOR AREA PLAZA
SCALE: 1/16" = 1'

PLAN LEGEND

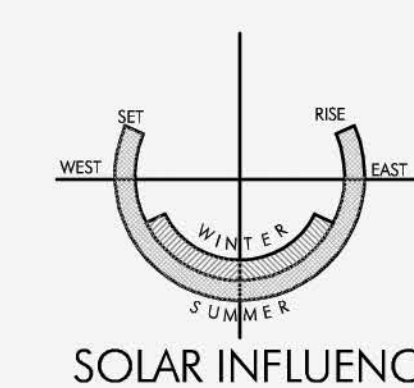
SYMBOL	DESCRIPTION
①	GATHERING AREA
②	COUNTY SIDEWALK. SHOWN FOR REFERENCE ONLY.
③	6' TO 7' WIDE CONCRETE OR CRUSHED ROCK PATHWAY.
④	ACCESS PATH THROUGH SUBDIVISION
⑤	BENCH
⑥	CLUSTER BOX UNIT MAILBOXES
⑦	PRIVATE YARD
⑧	DRIVEWAY
⑨	SENIOR HOUSING FOOTPRINT EXAMPLE



SENIOR LOT LANDSCAPING EXAMPLE
SCALE: 3/16" = 1'

BELLA VISTA SUBDIVISION
PRELIMINARY LANDSCAPE SITE PLAN

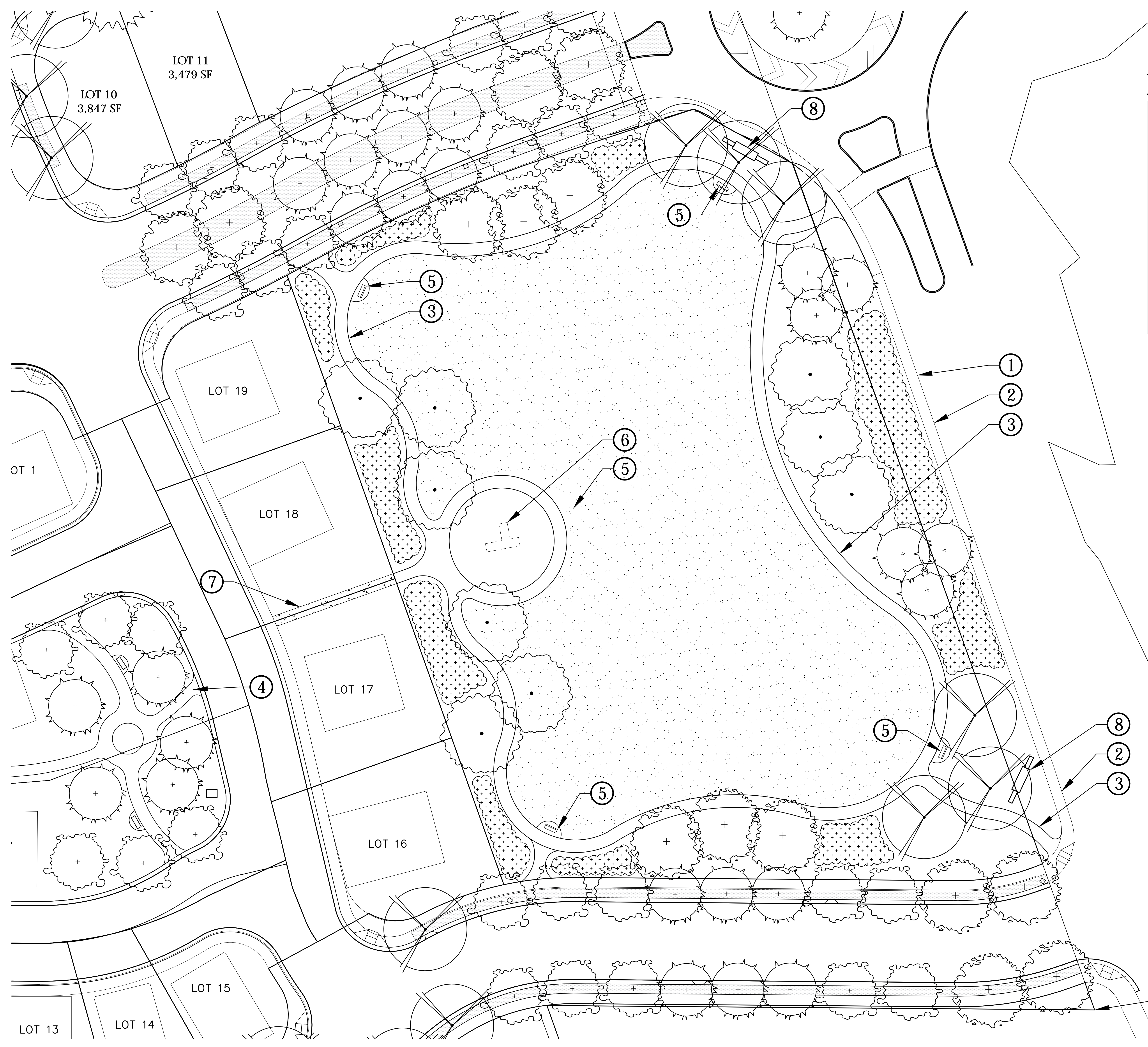
Prepared for:
Jake Morley
Guillon Inc. Construction
2550 Lakewest Drive, Ste 50
Chico, VCA 95928



Prepared by:
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EXHIBIT "D" - PAGE 3

SHEET L-0.3

DATE: NOVEMBER 12, 2020
PROJECT NUMBER: 2235
DRAWN: TDB



PLAN LEGEND

SYMBOL	DESCRIPTION
①	LIMIT OF WORK
②	CITY SIDEWALK. SHOWN FOR REFERENCE ONLY.
③	6' TO 7' WIDE CONCRETE PATHWAYS
④	SENIOR PLAZA AREA. SEE SHEET 3 FOR MORE INFORMATION.
⑤	SEATING AREA
⑥	TOT LOT
⑦	ACCESS PATH THROUGH SUBDIVISION
⑧	ENTRY MONUMENT

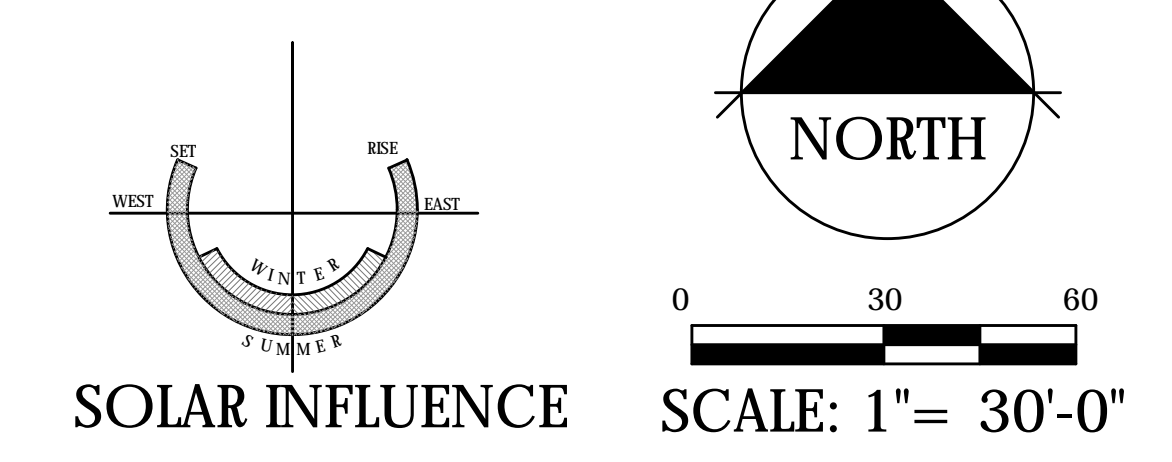
BELLA VISTA SUBDIVISION

PRELIMINARY LANDSCAPE SITE PLAN

COMMUNITY PARK
SCALE: 1" = 20'

SHEET L-0.4

Prepared for:
Jake Morley
Guillon Inc. Construction
2550 Lakewest Drive, Ste 50
Chico, VCA 95928



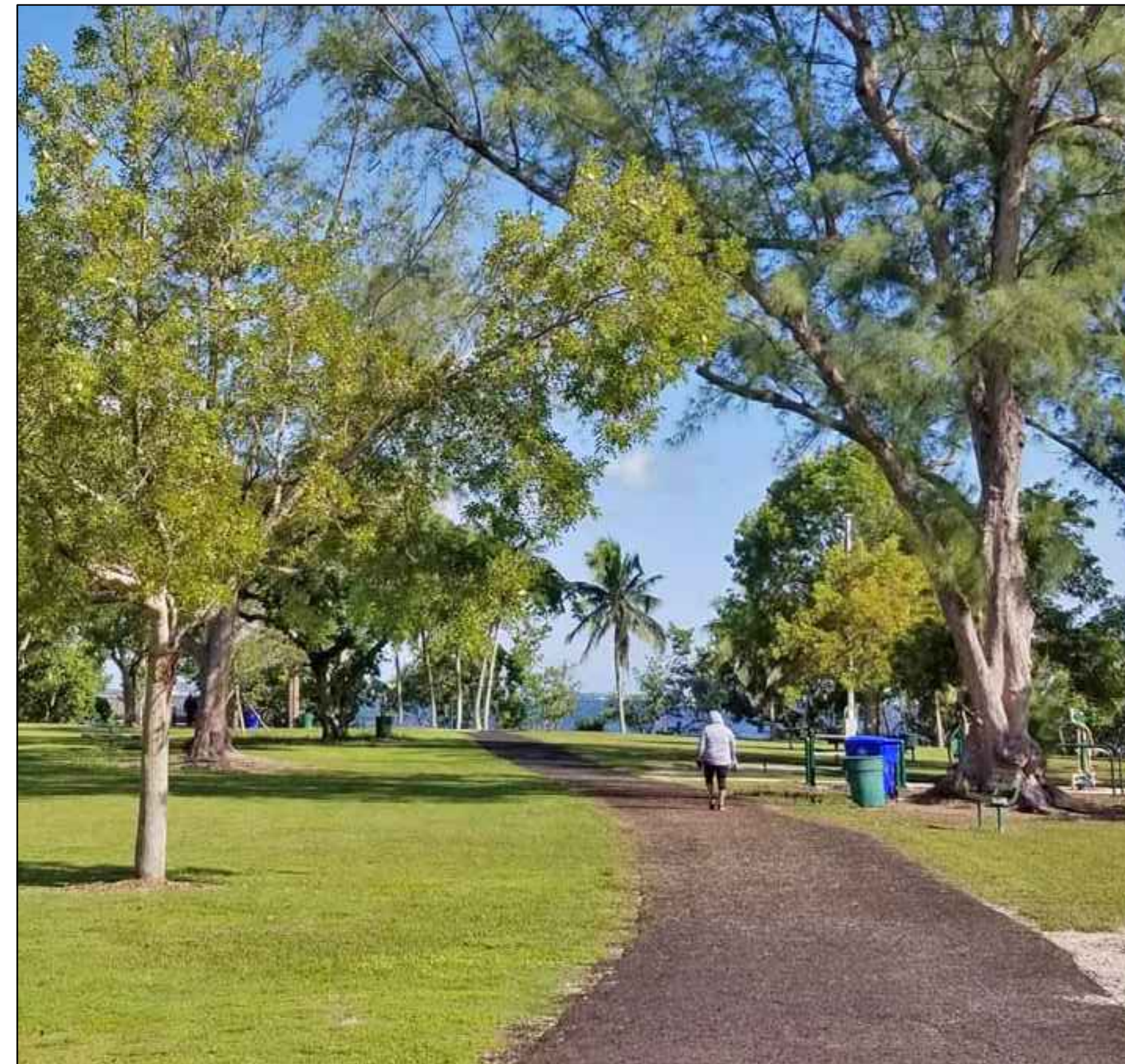
Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
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www.BFLAdesign.com
EXHIBIT "D" - PAGE 4

DATE: NOVEMBER 6, 2020
PROJECT NUMBER: 2235
DRAWN: TDB

PASSIVE RECREATION



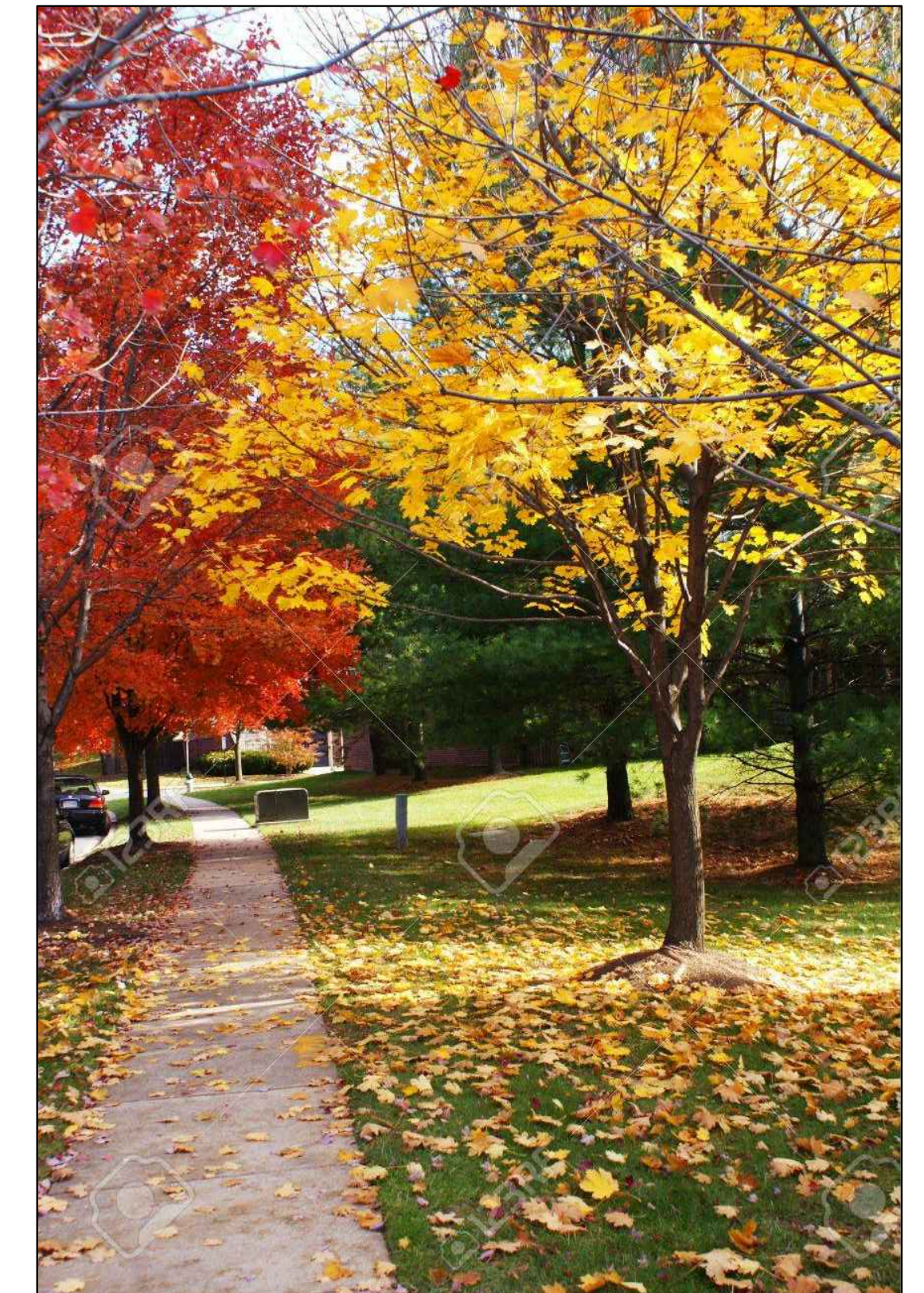
WALKING PATHS



FAMILY FRIENDLY



TREE LINED DRIVES



TOT LOT



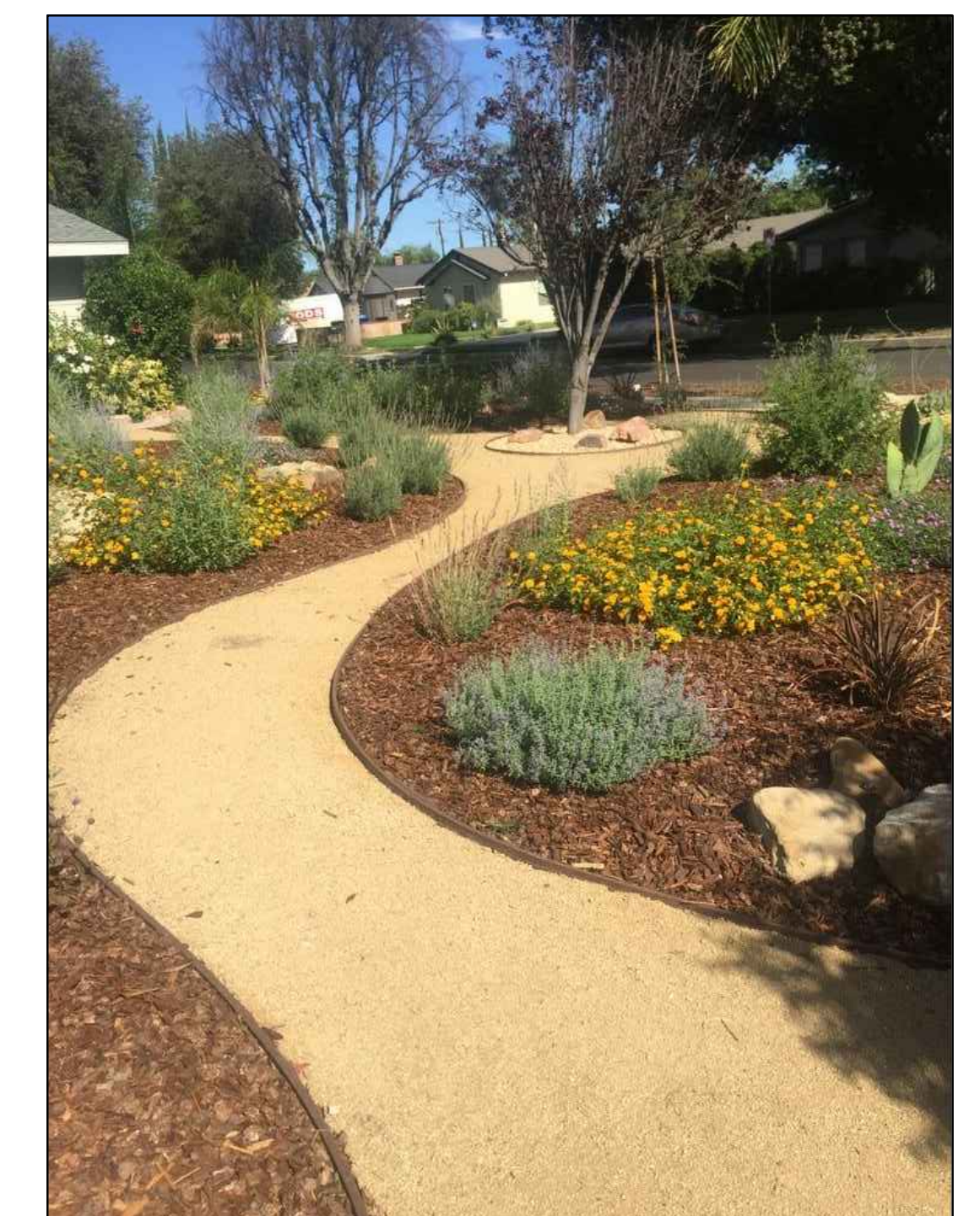
PASSIVE RECREATION



2 ACRE PARK



LINEAR PARK




BELLA VISTA SUBDIVISION

PRELIMINARY LANDSCAPE SITE PLAN

Prepared for:
Jake Morley
Guillon Inc. Construction
2550 Lakewest Drive, Ste 50
Chico, VCA 95928

SHEET L-0.5

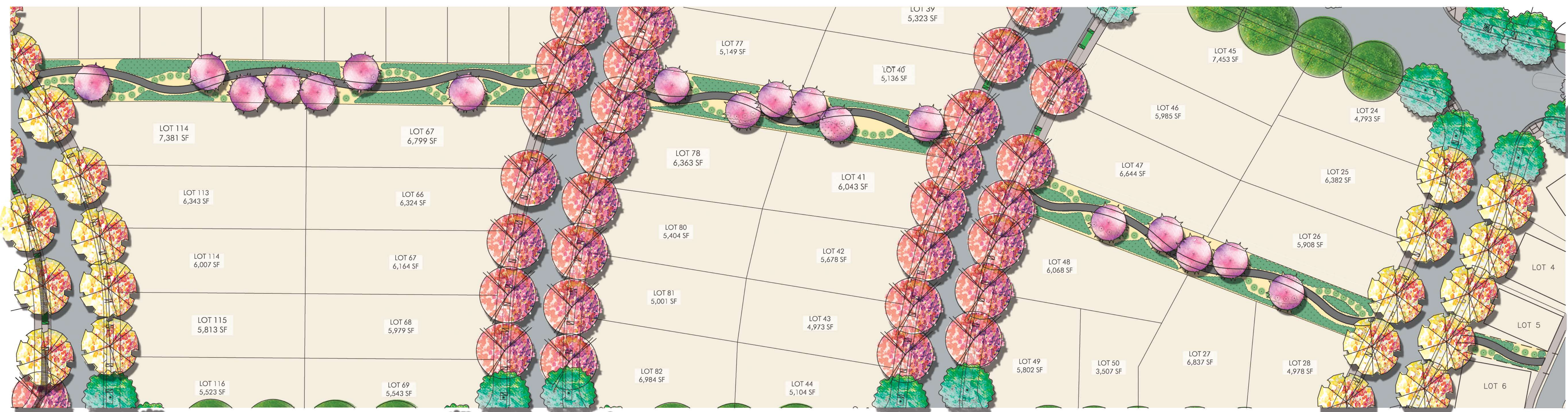
DATE: NOVEMBER 6, 2020
PROJECT NUMBER: 2235
DRAWN: TDB
Prepared by:
 **BRIAN FIRTH LANDSCAPE ARCHITECT, INC.**
627 BROADWAY, SUITE 220, CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130 www.BFLAdesign.com

TREE & SHRUBS LIST

SYMBOL	LATIN NAME/ COMMON NAME	SPREAD	CONTAINER SIZE
TREES			
	ACER CAMPESTRE FIELD MAPLE	25'	24" BOX STD. FORM
	CARPINUS BETULUS EUROPEAN HORNBEAM	25'	15 GALLON STD. FORM
	GINKGO BILOBA 'AUTUMN GOLD' AUTUMN GOLD GINKGO	30'	15 GALLON STD. FORM
	CERCIS CANADENSIS EASTERN REDBUD	35'	24" BOX STD. FORM
	ACER RUBRUM RED MAPLE	35'	24" BOX STD. FORM
	CELTIS OCCIDENTALIS AMERICAN HACKBERRY	35'	24" BOX STD. FORM
	CELTIS SINENSIS CHINESE HACKBERRY	40'	24" BOX STD. FORM
	PISTACHIA CHINENSIS 'KEITH DAVIES' SEEDLESS CHINESE PISTACHE	40'	15 GALLON STD. FORM
SHRUBS & GRASSES			
	MIX OF NATIVE GRASSES AND SHRUBS	3'-4'	1 GALLON
	NATIVE GROUNDCOVER	3'-4'	1 GALLON



OVERALL SITE
SCALE: 1" = 100'-0"



LINEAR PARK
SCALE: 1" = 30'-0"

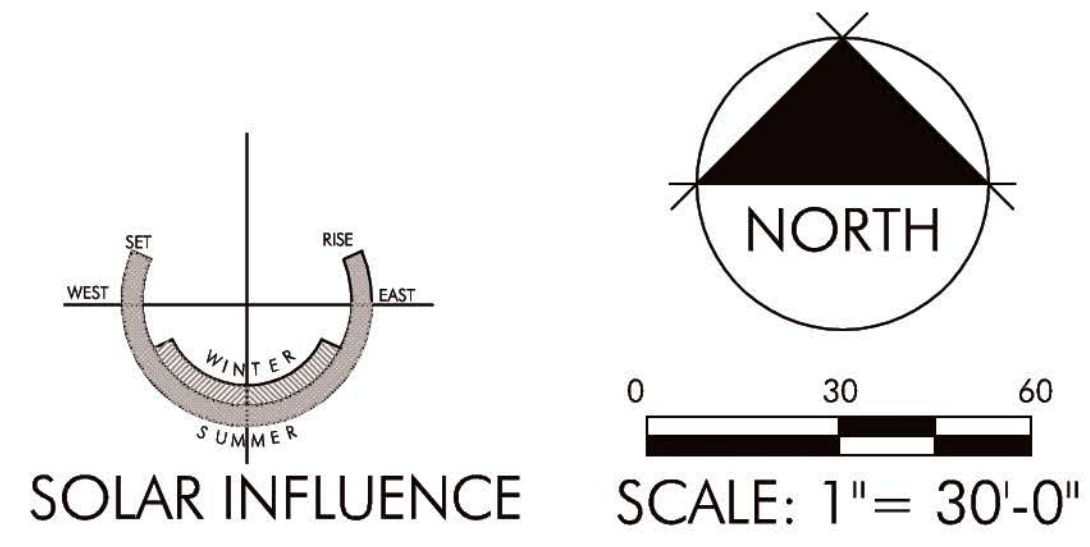
LANDSCAPE IRRIGATION

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BELLA VISTA SUBDIVISION
PRELIMINARY LANDSCAPE PLANTING PLAN

Prepared for:
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Guillon Inc. Construction
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Chico, VCA 95928



SHEET L-0.2

DATE: OCTOBER 23, 2020
PROJECT NUMBER: 2235
DRAWN:

Prepared by:
BRIAN FIRTH LANDSCAPE ARCHITECT, INC.
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PHONE: (530) 899-1130 www.BFLAdesign.com

EXHIBIT "E"

CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION

Modified Entitlements per S_2020-0001, DEV_2020-0001 and AP_2022-0034 including: Amended Vesting Tentative Map dated August 29, 2022; Modified Phasing Plan; Modified Design Guidelines; Preliminary Landscape Site Plan & Planting Plan, Reductions in Development Standards per State Density Bonus Law; Administrative Permit; Inclusionary Housing Plan; Inclusionary Housing Agreement; Restated Development Agreement - (the "Modified Project")

A. GENERAL CONDITIONS

1. This approval is subject to all of the applicable terms and conditions of the Restated Development Agreement for the Modified Project as approved by the Board of Supervisors. If any of these conditions of approval is in conflict, or is inconsistent, with any term or condition of the Restated Development Agreement, then any such condition shall be deemed waived or satisfied and the Restated Development Agreement shall control.
2. All mitigation measures from the certified Environmental Impact Report for the Garden's Gate Subdivision ("Garden's Gate EIR") as modified by the Addendum for the Garden's Gate Subdivision ("EIR Addendum"), as described in the Amended Mitigation Monitoring & Reporting Program ("Amended MMRP"), shall be implemented as conditions of approval, and are incorporated herein by reference.
3. This approval is based upon all conditions of approval set forth herein, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations. Any deviations from these Conditions of Approval must be reviewed and approved by the Director of Planning and, where specified, the Director of Transportation for conformity with this approval. Deviations may require changes to the project approvals and/or further environmental review. Deviations without the above-described review and approval will constitute a violation of permit approval.
4. Prior to performing any work within the Cleland Mountain Creek floodplain, Applicant shall secure all applicable permits from the California Department of Fish and Game, the U.S. Army Corps of Engineers, as well as any other agencies which may have control or authority.
5. Any proposed work within County rights-of-way shall require an encroachment permit from the Mendocino County Department of Transportation.
6. The Applicant shall be responsible for the repair of any damage to the County Maintained Road System in the immediate vicinity of the site that is attributable to hauling of material and equipment in connection with subdivision grading and construction activities. Repairs must be performed to the satisfaction of the Director of Transportation. Evidence of preconstruction condition of the County Maintained Road System shall be established by the County and/or Applicant, through

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

photographs, notes and any documentation necessary, prior to issuance of the first grading permit, and prior to issuance of the Subdivision Improvement Agreement for each phase of the Modified Project.

7. The Applicant shall ensure that potential contractors are aware of the site rules, restrictions, Conditions of Approval, and mitigation measures.

B. CONDITIONS RELATING TO SUBSEQUENT FINAL MAPS

8. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a street naming plan for the entire Modified Project that identifies the name of each street based on the list of street names submitted by the Applicant. The final street naming plan shall be reviewed by the County's address coordinator. Street names shall be indicated on each Subsequent Final Map.
9. Prior to recordation of the first Subsequent Final Map, the Applicant shall provide the County with proof that a Homeowners Association representing all property owners of the Project, or other oversight instrument as approved by the County, has been formed. Title to the common open space, parks, private roads, common driveways, streetscape parkways and landscaping, drainage easements, and the Riparian Enhancement Area along Cleland Mountain Creek shall be held by the Homeowners Association or other oversight instrument as approved by the County.
10. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a set of covenants, conditions, and restrictions (CC&Rs) for the review and approval of Director of Planning and County Counsel.
 - a. The CC&Rs shall ensure the on-going maintenance of all storm drainage facilities located outside of the street right of ways accepted into the County Maintained Road System, private roads, common driveways, parks and common open space areas, streetscape parkways and landscaping, and the drainage easement and Riparian Enhancement Area along Cleland Mountain Creek.
 - b. The CC&Rs for the senior housing component shall ensure that the development complies with the requirements of Civil Code Section 51.3 regarding age-restrictions and the requirements of Civil Code Section 51.2 regarding accessibility standards and the provision of common facilities.
 - c. The CC&Rs for the Neighborhood Park shall establish regulations pertaining to the types of public uses of the park, as well as governing hours, nuisances and other operational considerations. Hours of operation shall be generally from dawn until dusk.
 - d. The CC&Rs shall include a provision stipulating that the County shall be a third-party beneficiary of the CC&Rs, with the right, but not the obligation,

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

to enforce provisions of the CC&Rs. Any modification of the CC&Rs relating to permitted uses, or the design, establishment, maintenance or repair of common areas is subject to the consent of the County, which consent shall not be unreasonably withheld.

11. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit for the review and approval of the Director of Planning and County Counsel, a "Publicly Accessible Private Open Space Easement Agreement" that grants to the County a non-exclusive public access and use easement on, over and across the Neighborhood Park. The Agreement shall establish the responsibility of the Homeowners Association, or other oversight instrument as approved by the County, to maintain the Neighborhood Park parcel and, to repair and replace, at its sole cost and expense, all facilities and improvements on the Neighborhood Park parcel.
12. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a conceptual plan for the review and approval of the Director of Planning that identifies the locations of the affordable housing parcels throughout the entire Project Site. The identified parcels for affordable housing may only be modified with the written approval of the Director of Planning, which approval shall not be unreasonably withheld.
13. The Subsequent Final Map for the first phase shall establish a front yard setback along Charlie Barra Drive on Lots 10 and 11. Driveway access to Lots 9, 10 and 11 shall not be permitted from Charlie Barra Drive.
14. Pursuant to Mitigation Measure 3.2-D.2, Lots 121, 122, 123 and 124 shall be removed from the Amended Vesting Tentative Map dated August 29, 2022, and a minimum 100-foot setback from Cleland Mountain Creek shall be established. Applicant may incorporate the four lots into other areas of the Modified Project. The reconfigured lots shall be subject to compliance with applicable County codes, EIR and EIR Addendum Mitigation Measures, and conditions of approval for the Modified Project. An illustrative plan showing the relocated parcels shall be submitted by Landowner for the review and approval of the Director of Planning and the County Engineer prior to submittal of the Subsequent Final Map for the first phase of the Modified Project.
15. Pursuant to Mitigation Measure 3.3-A.1, a Riparian Enhancement Area shall be established on Lots 121, 122, 123 and 124 and Applicant shall record a Declaration of Environmental and Land Covenants in conjunction with recordation of the Subsequent Final Map(s) for the phase(s) of the subdivision that include the area encompassed by Lots 121, 122, 123 and 124 as shown on the Amended Vesting Tentative Map dated August 29, 2022.
16. Pursuant to Government Code Section 66492 & 66493, prior to recordation of each Subsequent Final Map, the Applicant must: (1) Obtain a Certificate from the Mendocino County Tax Collector stating that all current taxes and any delinquent

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

- taxes have been paid, and (2) Pay a security deposit (or bond) for taxes that are a lien, but not yet due and payable.
17. A note shall appear on Subsequent Final Maps that "Development within the flood plain as identified on this map, is subject to those restrictions in the Flood Plain Regulations of the Mendocino County Code."
 18. A note shall appear on Subsequent Final Maps and on all grading and construction plans for the Modified Project as follows: "Access Road, driveway and interior circulation routes shall be maintained in such a manner as to ensure minimum dust generation subject to Air Quality Management District Regulation 1 Rule 430. All grading must comply with Air Quality Management District Regulations Rule 430. Any rock material, including natural rock from the property, used for surfacing must comply with Air Quality Management District regulations regarding asbestos content."
 19. A note shall appear on Subsequent Final Maps and on all grading and construction plans for the Modified Project as follows: "In the event that archaeological resources are encountered during development of the property, work in the immediate vicinity of the find shall be halted until all requirements of Chapter 22.12 of the Mendocino County Code relating to archaeological discoveries have been satisfied."
 20. Pursuant to provisions in Section 17.43(D)(6) of the County Division of Land Regulations, all areas within the Modified Project subject to inundation in the event of a "100-year" storm event shall be clearly identified on applicable Subsequent Final Map(s). Data shown on the Subsequent Final Map(s) shall be supported and verified by a report prepared by a registered civil engineer and submitted to the Department of Transportation concurrently with final map check prints. The report shall take into account any grading to be utilized to raise the ground elevation above the base flood elevation.
 21. In conjunction with recordation of each Subsequent Final Map, an avigation easement, in a form and content acceptable to County Counsel, shall be recorded on all parcels that lie partially or wholly within Compatibility Zones 2 and 3 as defined in the Ukiah Municipal Airport Land Use Compatibility Plan.
 22. Each Subsequent Final Map shall include a statement, per Section 17-41(C)(8) of the County Division of Land Regulations that: "The Subdivision improvements, including but not limited to streets, drainage facilities, and utilities to be made or installed can be constructed in accordance with applicable standards without encroaching upon lots or parcels not specifically designated for that purpose."
 23. Each Subsequent Final Map shall contain "...approximate curve radii of all proposed streets within the division of land." The standard radius for the knuckles proposed is 43' minimum. Minimum centerline horizontal curve radii for all roads shall be 125 feet. Minimum curb return radii at all intersections shall be 25 feet.

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

24. A note shall be added to the Subsequent Final Map(s) upon which Lots 6-11 and 20-23 are recorded and a deed restriction shall be recorded on Lots 6-11 and 20-23 prohibiting the establishment of driveway access from the subject parcels on to Charlie Barra Drive.
25. A note shall be added to the Subsequent Final Map(s) upon which Lots 6-11 and 20-23 are recorded to require that fencing for the yards of Lots 6-11 and Lots 20-23 (i.e., along the Charlie Barra Drive street frontage) shall either conform to the front yard fencing standards in the County Code or, if 6' fencing is specified, it shall be setback a minimum of 5' from the public right-of-way and shall be screened by shrubs and trees to establish an attractive gateway to the neighborhood. The Master Landscape Plan for the Charlie Barra Drive frontage of these parcels shall be submitted for review and approval by the Director of Planning prior to approval of the Subsequent Final Map(s).

C. CONDITIONS RELATING TO SUBDIVISION IMPROVEMENTS

26. Prior to approval of the first Subsequent Final Map, the Applicant shall execute with the County an agreement for all subdivision improvements, including parks and trails, and furnish the required bonds or other improvement securities and insurance coverages. Performance, labor and materials bonds (or other financial instruments deemed acceptable by County) shall remain in place until subdivision improvements are completed and accepted by County, at which time Applicant shall enter into a two-year warranty and maintenance agreement.
27. All improvements to be dedicated to County shall be free of any liens or encumbrances.
28. Any additional right of way that may be needed for development of subdivision access improvements along South State Street corridor, including frontage improvements, the two access streets onto the project site, and the Roundabout within the South State Street corridor shall be dedicated to the County in fee simple and with all costs borne by the Applicant and/or subsequent grantees.
29. Subdivision improvements shall include streets, parks and trails, drainage facilities and the extension of sanitary sewer, water and public utility (electricity, telephone, and cable television) services to each parcel. All utilities installed within the subdivision shall be placed underground with the exception of vaults and/or meters which shall be placed underground where feasible. If vaults and/or meters are not undergrounded, they shall be sited in unobtrusive locations and/or screened in order to maintain the overall aesthetics of the Modified Project. Street lighting shall also be installed, and all luminaries shall be downward shielded.
30. Construction, landscaping and irrigation plans for Neighborhood Park shall be submitted for the review and approval of the Director of Transportation and the

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

Director of Planning as part of the Subdivision Improvement Plans for Phase 1. Landscaping and irrigation plans for the Neighborhood Park may be handled as a "deferred submittal" to be approved and constructed prior to completion of the first final inspection for a residence in the Phase of the Modified Project that is linked to the Neighborhood Park.

31. All subdivision improvements located within each Phase of the Modified Project shall be completed prior to completion of the first final inspection for a residence in that Phase. An exception may be granted by the Director of Planning whereby the landscape, hardscape and furnishings for the Neighborhood Park may be completed with Phase 3 if the Roundabout is constructed concurrently with Phase 1.
32. The Subdivision Improvements Plans shall be generally consistent with the approved Preliminary Landscape Site Plan & Planting Plan. Street and park landscaping, hardscape, lighting and irrigations plans shall be subject to review and approval of the Director of Planning, with consultation from the Department of Transportation and UC Cooperative Extension.
33. The Subdivision Improvement Plans for the Senior Neighborhood shall include a covered pavilion within the Cottage Park that is a minimum of 585 square feet in size and includes an outdoor ceiling fan, electric space heater(s), lighting and a counter with a grill. Moveable partitions shall be provided so that the pavilion can be enclosed in inclement weather. If additional lots are placed within the Senior Neighborhood, the size of the covered pavilion shall be increased by 15 square feet per additional lot.
34. The pathways in the Linear Park and the Neighborhood Park as well as the connectors between the neighborhood park and nearby sidewalks shall be constructed of concrete. A minimum pathway width of 7' is required.
35. The Roundabout on South State Street at the Project entry shall be completed before the final building inspection for the 100th housing unit in the Modified Project. As an interim measure prior to completion of the Roundabout, Applicant shall install a northbound left-turn lane on State Street at the site entry.
36. Plans for the design of Roundabout (including center landscaping and any monument sign) shall be submitted to the Director of Transportation for review and approval prior to construction of the Roundabout.
37. Subdivision improvement plans shall be accompanied by a design soils report prepared by a geotechnical engineer or qualified civil engineer and shall: identify soil conditions and geological hazards to be considered in the road design; make specific recommendations to be incorporated in the design and construction of the road; and make specific recommendations on measures required to minimize erosion during and after construction.

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

38. All subdivision improvement plans shall include cross-sections with templates at a maximum interval of 50 feet. Subdivision improvement roadway plans shall include cross-sections at a maximum interval of 50 feet.
39. Subdivision roads to be accepted into the County Road System shall be designed and constructed in accordance with procedures prescribed in the County Division of Land Regulations, and the following design standards unless an exception is granted by the Director of Transportation:

Minimum Right of Way Width	50 Feet
Minimum Street Width (curb to curb)	36 Feet
Minimum Radius of Curb Return	25 Feet
Minimum Radius of Right of Way at Knuckle	50 Feet
Minimum Street Radius at Knuckle (to face of curb)	43 Feet
Minimum Radius Curb Return at Cul-de-Sac	40 Feet
Maximum Grade	16 Percent
Minimum Grade	0.5 Percent
Minimum Traffic Index	6.5
Minimum Thickness of Asphalt Concrete Surfacing	3 Inches

40. Street improvements shall include concrete curb and gutter and minimum 5-foot wide concrete sidewalks on both sides. A minimum 5-foot wide public utility and sidewalk easement shall be provided on both sides of the road. The public subdivision roads, as identified on the Amended Vesting Tentative Map dated August 29, 2022, shall be offered for dedication and accepted into the County Maintained Road System. The Homeowners Association or other oversight instrument as approved by the County shall retain responsibility for maintenance, irrigation and replacement of all street landscaping.
41. All private roads, as identified on the Amended Vesting Tentative Map dated August 29, 2022, shall be improved in accordance with County of Mendocino Road and Development Standards drawing A10F Reduced Section unless an exception is granted by the Director of Transportation.
42. A 43-foot radius turnaround shall be constructed within a 50-foot radius easement at the terminus of the private access easement near lots 125 and 126 to the satisfaction of the Mendocino County Department of Transportation. Alternatively, Applicant, with approval from the local fire district, may construct a "Hammerhead-T" turnaround in accordance with County of Mendocino Road and Development Standards drawing A15.

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

43. Subdivision improvement plans shall be accompanied by a drainage report prepared by a Civil Engineer. The report shall provide hydrology and hydraulic data necessary to support the design, location and capacity of all proposed drainage facilities necessary for compliance with Mendocino County Road and Development Standards and Section 17-57(C) of the County Division of Land Regulations. This drainage report shall also include the location, capacity analysis and condition assessment of all existing drainage channels and structures receiving runoff from the subdivision.
44. Subdivision improvement plans shall include all storm drainage, detention/retention facilities designed in general conformance with the Stormwater Control Plan dated March 2021 and the conceptual improvements shown on the Amended Vesting Tentative Map, dated August 29, 2022. The drainage facilities shall be installed within appropriate easements or dedicated parcels and shall be sufficient to mitigate the increase in runoff resulting from the 10-year storm event on site. The plans shall be accompanied by calculations prepared by the design engineer to verify this mitigation. Drainage plans shall be subject to the review and approval of the MDOT and Regional Water Quality Control Board. A General Construction Activity Storm Water Permit shall be secured.
45. All roadway and drainage improvements shall be constructed in conformance with Mendocino County Road and Development Standards, typical road sections as shown on the Amended Vesting Tentative Map dated August 29, 2022 (unless an exception is granted by the Director of Transportation), mitigation measures included in the approved Amended Mitigation Monitoring & Reporting Program, and improvements plans prepared by a Registered Civil Engineer and approved by the Mendocino County Department of Transportation (MDOT).
46. Drainage improvements shall include design features as needed to adequately conduct runoff from completed phases across future phases to a satisfactory point of disposal.
47. Surface drainage facilities appurtenant to the subdivision roads shall be designed and constructed in accordance with the following minimum standards:
 - a. Culverts, storm drains and detention facilities shall be designed to accommodate a 100-year storm event using all available head at the inlet; Drainage placed in closed conduits may be designed to accommodate a 10- year storm event given that sufficient additional surface routes are available to carry the added flow increment up to the 100-year storm event design discharge without flooding the traveled way and with no inundation of present or future buildings. If such surface routes cannot be made available, waterways shall be designed to carry the 100-year design discharge.
 - b. Minimum culvert and storm drain size shall be of sufficient width to allow for maintenance and replacement of drainage facilities, shall be RCP or an

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

acceptable alternative material, and shall be subject to the approval of Mendocino County Department of Transportation and shall be shown on the Final Map.

- c. Drainage easements for culverts shall have a minimum width of 10 feet;
 - d. Drainage easements for ditches shall have a minimum width of 20 feet unless an exception is granted by the Director of Transportation;
 - e. Minimum allowable ditch/curb and gutter grade shall be 0.5 percent;
 - f. Special erosion control measures will be required where ditch grade exceeds 5 percent.
48. The Applicant and/or subsequent grantees shall either (1) submit to the Division of Environmental Health a letter from the district(s) or agency(s) stating that water and/or sewer services (and main extensions, where required) have been installed to the satisfaction of the district or agency to serve each lot in said subdivision and connected to the system providing the services(s) and have been accepted by the district or agency for maintenance by said district or agency (Mendocino County Code 17.55 & 17.56); or (2) the Applicant shall submit a letter to the Division of Environmental Health from the district(s) or agency(s) stating that engineered improvement plans for the future installation of services (and main extensions, where required) for each lot and the connection to the system providing the service are acceptable to the district, including maintenance of the system by the district and the Applicant shall submit a letter to Division of Environmental Health from the County Engineer stating that performance bonds or other adequate surety have been secured, to the satisfaction of the county engineer, to cover the cost of the installation of services (and main extensions, where required) for each lot and the connection to the system providing the service per Mendocino County Code Chapter 17 Article VIII.
49. All monuments set in connection with the survey for this subdivision shall conform with the provisions of the Land Surveyors Act of the State of California and the provisions of Section 17-72 of the County Division of Land Regulations. Applicant shall be responsible at Applicant's expense to preserve street centerline, property line and corner markers, except where their destruction is unavoidable, and the Applicant is proceeding in accordance with accepted practice and notice to the County. Lost or disturbed monuments shall be replaced at the Applicant's expense by a professional licensed in California to practice land surveying. (see "Monuments," Section 8771, Land Surveyors Act, Division 3, Chapter 15 of the Business and Professions Code).

D. CONDITIONS RELATING TO ISSUANCE OF GRADING AND BUILDING PERMITS

50. Minimum elevations of building pads shall be constructed at or above the 100-year base flood elevation. The finished floor elevation of all residential structures shall be

EXHIBIT "E"

**CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034**

a minimum of one (1) foot above the (100 year) base flood elevation. All residential structures built within the designated (100 year) base flood hazard area shall have their finished floor elevations certified by elevation certificate with FEMA and the County of Mendocino. Building pads are defined as the area within the building footprint of the residential structure.

51. All building pads shall be located inside the building setback lines on each lot as shown on each approved Subsequent Final Map.
52. All residential development shall be consistent with the approved Design Guidelines Manual, as amended by the Board of Supervisors to allow for up to 3,000 square foot single-family homes in the Traditional Neighborhood. Consistency shall be determined by the Director of Planning prior to issuance of building permits.
53. Applicant shall amend the Planting Plan to provide intermittent plantings along the north side of the proposed "good neighbor fence" on the Applicant's property. The Planting Plan shall be subject to the review and approval of the Planning Director.
54. No heavy equipment or construction vehicles may be parked on Gobalet Lane. Heavy equipment shall take access to the project site from South State Street.
55. The Subdivision Improvement Plans shall include the following:
 - a. The Preliminary Landscape Site Plan & Planting Plan shall be modified to include larger regionally-appropriate trees.
 - b. Roof sheathing shall include a radiant barrier and roofing materials shall meet Energy Star Cool Roof standards.
 - c. Install utilities and vaults within the sidewalk or at the residence side of the sidewalk. Locations shall be subject to approval by the utilities.
 - d. Install root guards or over-excavate to direct roots downward.
 - e. Landscape space shall be enlarged to a minimum of 5'6" along sidewalks and streets on the Public Streets.
 - f. The sidewalk width along Public Streets shall be increased to 6'.
 - g. The landscape irrigation system in the three parks shall be designed to provide space for potential future connection to Purple Pipe recycled water supply.
56. The Applicant shall submit a request for a Tab H Exception to the Director of Transportation if the increase in sidewalk width or planter width is to be accommodated by a reduction in the standard road width.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
GEOLOGY					
<p>3.1-A: Improvements built on the site would be subject to seismic ground shaking, which could cause the failure of those improvements and risk to human health.</p>	<p>3.1-A.1: A final geotechnical report shall be prepared that incorporates the recommendations set forth in the 2005 RGH Report as modified by mitigation measures recommended in this EIR. The project applicant shall design project structures and foundations to withstand expected seismic forces in accordance with the California Building Code as adopted by the County of Mendocino. Since the project site is located within Seismic Zone 4 it is considered potentially seismically active. The County shall not issue building permits until seismic design criteria are reviewed and approved. During construction adherence to design criteria shall be monitored, and a final report issued documenting conformance prior to occupancy.</p>	<p>Project Engineer Project Geotechnical Consultant</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Mendocino County Dept. of Planning & Building Services (Planning Dept.)</p>	<p>Planning Dept. Approval of Final Map</p>
<p>3.1-B: Seismically induced ground failure, including liquefaction and densification, would cause improvements to fail and risk to human health.</p>	<p>3.1-B.1: Potentially unstable surface soils shall be remediated by strengthening the soils during site grading. The strengthening will be achieved by excavating the weak soils and replacing them as properly compacted engineered fill. All site grading and foundation construction shall follow the recommendations of the Geotechnical Engineer of record for the project. The process will include excavation of surface soils and placement of all fill soils at a minimum of 90 percent compaction relative to the maximum dry density near the optimum moisture content as determined in accordance with ASTM D 1557.</p>	<p>Project Engineer</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept. Prior to building construction</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>Site soils will be tested during construction by the Geotechnical Engineer-of-Record or by a Special Inspector to confirm that minimum standards are met. A final report documenting results of fill testing will be submitted to the County of Mendocino Department of Planning and Building Services and will be subject to the review of that department.</p>				
<p>3.1-C: Potentially unstable slopes or underlying soils could cause the failure of improvements and risk to human health.</p>	<p>3.1-C.1: Cut and fill slopes should be designed and constructed as slope gradients of 2h:1v or flatter, unless otherwise approved by the Geotechnical Engineer-of-record in specified areas. The interior slopes of the retention basin should be inclined no steeper than 3h:1v. If steeper slopes are required, retaining walls shall be used. Fill slopes steeper than 2h: 1v will require the use of a Geogrid reinforcing material to increase stability. Fill slopes shall be constructed by over-filling and cutting the slope to final grade. Graded slopes shall be planted with fast-growing, deep-rooted groundcover to reduce sloughing and erosion.</p> <p>Fills placed on terrain sloping at 5h:1v or steeper shall be continually keyed and benched into firm, undisturbed bedrock or firm soil. The benches shall allow space for the placement of select fill of even thickness under settlement sensitive structural elements supported directly on the fill.</p>	<p>Project Engineer</p> <p>Project Geotechnical Consultant</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept.</p> <p>Prior to building construction</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>3.1-C.2 Retaining walls shall be designed to retain planned cut slopes for the hillside lots that exceed 2h:1v in slope steepness. These cuts are planned to be as great as 13 feet in height. The Geotechnical Engineer-of-record shall provide revised recommendations for retaining walls if needed to meet current building code requirements. All retaining walls shall be designed by a State of California Registered Civil Engineer in accordance with requirements of the current edition of the California Building Code including seismic design considerations. Retaining wall design shall be reviewed by the County of Mendocino Department of Planning and Building Services to ensure conformance with state and local building code requirements.</p>	<p>Project Engineer Project Geotechnical Consultant</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept. Prior to building construction</p>
	<p>3.1-C.3: Plan Review will be performed by the County of Mendocino Department of Planning and Building Services to ensure conformance with grading and drainage requirements. The Geotechnical Engineer-of-Record shall prepare a geotechnical review letter documenting that plans meet with the intent of geotechnical recommendations.</p>	<p>Project Geotechnical Consultant</p>	<p>During Construction</p>	<p>Planning Dept.</p>	<p>Planning Dept. Prior to building construction</p>
	<p>3.1-C.4: The Geotechnical Engineer-of-Record and/or Special Inspector shall perform construction observation and testing to ensure conformance with design requirements and geotechnical</p>	<p>Project Geotechnical Consultant</p>	<p>During Construction</p>	<p>Planning Dept.</p>	<p>Planning Dept. Completion of building construction</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>recommendations. Testing and monitoring shall include:</p> <ul style="list-style-type: none"> ● Verification of compaction requirements for engineered fill and subgrade soils. Unless otherwise stated all engineered fill shall be compacted to at least 90 percent of the maximum dry density at moisture contents above the optimum in accordance with ASTM D 1557 test method. Subgrade beneath foundations and pavement sections shall be additionally compacted to at least 95 percent of the maximum dry density at moisture contents near the optimum. ● Verification of the installation of subsurface drainage in accordance with project plans and specifications. ● Verification that footings are excavated into stable material and footing excavations are of sufficient depth and breadth to adequately support structures with minimal or no settlement. ● Materials Testing and Special Inspection of concrete, steel, asphalt, wood members and other structural elements to establish conformance with the design standards. ● Verification of correct installation of erosion control measures and adherence to the requirements of the approved Stormwater Pollution Plan (SWPPP) for the project. 				

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>3.1-D: Expansive soils on the site could cause the failure of improvements and risk to human health.</p>	<p>3.1-D.1: Where spread footings are chosen for foundation support, weak, porous, compressible and locally expansive surface soil shall be excavated to within 6 inches of their entire depth. Excavation of weak, compressible, and locally expansive soils shall extend a minimum of 12 inches below exterior concrete slabs and/or asphalt concrete pavement subgrade. These soils shall be replaced with select fill material. Additionally, excavation of weak, porous, compressible, expansive, creep-prone surface materials shall extend at least 5 feet beyond the outside edge of exterior footings of the proposed buildings and 3 feet beyond the edge of exterior slabs and or pavements. These soils shall also be replaced with select fill material as described below. Select fill material shall be free of organic matter, have a low expansion potential, and conform in general to the following requirements: 100% passing 6" sieve; 90-100 % passing the 4" sieve; 10-60% passing the No. 200 sieve (all percentages by dry weight); LL - 40 max; PI - 15 max; R-value - 20 min. The Geotechnical Engineer - of - Record shall approve imported material prior to use as compacted fill.</p>	<p>Project Engineer Project Geotechnical Consultant</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept. Completion of building construction</p>
HYDROLOGY & WATER QUALITY					
<p>3.2-A: Development of the project would create new impervious</p>	<p>3.2-A.1: The project shall not cause flooding downstream of the project site, and post-development peak flows discharged to the 18-inch CMP storm drain beneath South State Street shall</p>	<p>Project Engineer</p>	<p>Final Map approval</p>	<p>Mendocino Water Agency</p>	<p>Mendocino Water Agency and Planning Dept.</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>surfaces, increasing the rate and amount of stormwater runoff. This runoff could contribute to flooding in the vicinity of the project site.</p>	<p>not exceed pre-development peak flows. At final project design, the applicant shall calculate the amount of runoff that will be generated by the developed portions of lots that drain into Cleland Mountain Creek and factor that increase into the analysis performed by Sandine and Associates to determine whether peak flow rates will remain below pre-development levels and the risk of flooding in the project site and off-site downstream will not be increased. If the post-project peak flow rates exceed the pre-development levels, the applicant shall increase the volume of the detention basin capacity to achieve the target peak flow discharge. The 18-inch storm drain facility beneath South State Street shall be located, inspected by video camera or other method, and a report submitted to the County Department of Transportation at the time of the final design of the subdivision storm drainage system, substantiating the adequacy of the existing facility to accommodate the design runoff or recommending improvements necessary to the facility to adequately accommodate project runoff. Those recommendations shall be constructed.</p>			<p>(Water Agency) Mendocino County Department of Transportation</p>	<p>Mendocino County Department of Transportation Final Map approval</p>
	<p>3.2-A.2: As part of the Development Agreement, establish a Homeowners Association (HOA) maintenance agreement that details the provisions for regular monitoring of the detention pond storage capacities, as well as requirements for detention pond cleanouts, when necessary, to maintain design stormwater storage levels.</p>	<p>Project Engineer</p>	<p>Approval of Development Agreement</p>	<p>Planning Dept.</p>	<p>Planning Dept. Prior to construction</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>Establish a monitoring protocol that is acceptable to the County that monitors implementation of this maintenance, including a bond or other funding agreement that reimburses the County if the County is required to conduct required maintenance due to the HOA not implementing required maintenance.</p>				
<p>3.2-B: Project development would result in the construction of four residential lots in the FEMA- designated 100- year floodplain of Cleland Mountain Creek.</p>	<p>3.2-B.1: The project shall not result in flooding of residences on the project site. To minimize the risk of flooding during the FEMA-designated 100-year base flood, the applicant shall implement one of the following alternatives:</p> <p>A) Re-design the grading plan for Lots 20-21 and 196-197 in the vicinity of Cleland Mountain Creek so that building finished floor elevations are a minimum of one foot above the land surface elevations inferred by the FIRM Zone A SFHA mapping,</p> <p>or</p> <p>B) Prepare a Letter of Map Revision (LOMR), accompanied by the appropriate technical documentation, and submit it to FEMA (or its sponsored contractor), to petition for a change in the FEMA SFHA designation for the project site. Required technical documentation would include an updated flood backwater profile modeling of Cleland. Creek, including the proposed Plant Road bridge crossing, which was excluded from</p>	<p>Project Engineer</p>	<p>Final Map approval</p>	<p>Planning Dept. Water Agency</p>	<p>Planning Dept. Prior to Final Map</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>the original HEC-RAS analysis conducted for the project by Sandine Associates.</p> <p>If the modeling results verify that the published FEMA mapping is inaccurate and that Lots 20-21 and 196-197 are outside of the redefined SFHA, then the lots could be developed as proposed, subject to possible regulatory restrictions or conditions imposed by the California Department of Fish and Game (CDFG) and the Mendocino County Water Agency (MCWA) for disturbance of the riparian corridor. If the modeling results verify that the published FEMA flood mapping was accurate, then Alternative A would be required for development of the lots.</p> <p>The same potential regulatory restriction or conditions imposed by CDFG or the MCWA would apply.</p>				
<p>3.2-C: Project development would result in the clearing of land for the proposed site improvements. During and after project construction exposed slopes will be at increased risk of erosion. Site erosion could</p>	<p>3.2-C.1: The project shall not cause significant erosion. The applicant shall submit a detailed Erosion Control Plan as part of the Stormwater Pollution Prevention Plan (SWPPP) to the Mendocino County Water Agency (MCWA) and to the State Water Resources Control Board (SWRCB), in conjunction with the filing of a Notice of Intent (NOI) with the SWRCB. The County shall not issue a Grading Permit until the County Water Agency agrees that the plan contains adequate Best Management Practices for controlling</p>	<p>Project Engineer</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Water Agency SWRCB</p>	<p>Water Agency SWRCB Plan verified at approval of Grading Permit Implementation verified at completion of construction</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>prematurely decrease the storage capacity of the vault detention system. The construction of the proposed bridge crossing over Cleland Mountain Creek would also create conditions for the discharge of fill into Waters of the United States.</p>	<p>erosion. At a minimum, the Erosion Control Plan shall include the following restrictions, guidelines, and measures:</p> <p>(1) grading and earthwork shall be prohibited during the wet season (typically October 15 through April 15) and such work shall be stopped before pending storm events during the spring fall construction season; (2) erosion control/soil stabilization techniques such as straw or wood mulching, erosion control matting, and hydroseeding, or their functional equivalents shall be utilized in accordance with applicable manufacturers specifications and erosion control Best Management Practices (BMPs) published in the California Stormwater BMP Handbook - Construction (California Stormwater Quality Association 2005) and/or similar proscriptions outlined in the Erosion and Sediment Control Field Manual (SF Bay RWQCB 2002); (3) bales of hay or accepted equivalent methods shall be installed in the flow path of graded areas receiving concentrated flows, as well as around storm drain inlets; (4) installation of silt fencing and other measures to segregate the active flow zone of Cleland Mountain Creek from the near overbank disturbance associated with bridge abutment construction; and (5) post-construction stormwater treatment measures.</p> <p>These and other erosion control BMPs shall be monitored for effectiveness and shall be subject to inspection by the County. The applicant shall be</p>				

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	responsible for implementing any remedial actions recommended by the County. After construction is completed, all drainage facilities shall be inspected for accumulated sediment, and these drainage structures shall be cleared of debris and sediment. Silt fence shall be left in place until the hydroseed has become established.				
<p>3.2-D: Project implementation would increase the area devoted to both paved (roadway and driveway) surfaces and maintained landscaping. Episodic discharge of stormwater contaminated with heavy metals could detrimentally affect downstream water quality. Residential lot development would be accompanied by increased application of fertilizers and chemicals (such as herbicides and pesticides).</p>	<p>3.2-D.1: The project shall not cause substantial pollution of Cleland Mountain Creek or the Russian River. The applicant shall prepare an NOI and SWPPP for the project, and incorporate the following additional site-appropriate BMPs or their equivalents for short- and long-term implementation by the Homeowners Association (HOA) and/or individual lot owners, in order to comply with the requirements of the NPDES General Permit and provisions of the Mendocino County Storm Water Management Program. The BMPs will result in stormwater leaving the site at least meeting the NCRWQCB water quality objectives for the Russian River. The SWPPP shall be approved by the Mendocino County Water Agency and the State prior to project construction. Impervious surfaces shall be minimized by using such techniques as driveway strips with bordering pervious pavement material (rather than a full paved driveway); using pervious materials for parking areas; directing runoff from rooftops and</p>	Project Engineer	Issuance of Building, Grading or Other Permits	Water Agency Planning Dept. SWRCB	Water Agency SWRCB Plan verified at approval of Grading Permit Implementation verified at completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>streets to landscaping buffers and/or recharge trenches.</p> <p>These and other BMPs shall be monitored for effectiveness and shall be subject to inspection by the County. The Homeowners Association shall be responsible for implementing any remedial actions recommended by the County. The applicant shall establish a monitoring protocol that is acceptable to the County that monitors implementation of these measures, including a bond or other funding agreement that reimburses the County if the County needs to conduct required maintenance due to the HOA not implementing required maintenance. The County can require that monitoring be done by a third party acceptable to the County; costs of all monitoring and any maintenance will be borne by the Homeowners Association.</p> <p>Since the objective of erosion control and water quality treatment measures would be to reduce contaminant loading to the maximum extent practicable with implementation of the best available technologies, the recommended BMPs are not fixed. Other measures can be applied as long as the applicant can demonstrate to the satisfaction of MCWA that those measures can provide equivalent levels of reduction in contaminant loading.</p> <p>The applicant shall prepare a plan that describes the roles and responsibilities of the HOA, lot</p>				

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	owners, and/or the County for implementing the BMPs and monitoring the results. If the County will be responsible for monitoring or implementing any actions, then a funding mechanism will be established. The County will review and approve this plan prior to the onset of construction.				
	3.2-D.2: Per the recommendations of the CDFG, Lots 121, 122, 123, 124 and Lot 4 of Tract 261 shall be removed from the project in order to provide the minimum creekside buffer required to filter contaminants, including sediment, from stormwater runoff. These four lots may be relocated elsewhere in the subdivision in accordance with the Restated Development Agreement.	Project Engineer	Prior to issuance of first Final Map	Planning Dept.	Planning Dept. Prior to issuance of first Final Map
3.2-E: The project plus other cumulative development could adversely affect the water quality of the Russian River.	Mitigation Measures for Impacts 3.2-C and 3.2-D also apply to this impact.	See the cited measures.			
BIOLOGICAL RESOURCES					
3.3-A: Project development could adversely	3.3-A.1: The applicant shall preserve water quality in Cleland Mountain Creek. A Riparian Enhancement Area that includes Lots 21, 22, and	Project Applicant	Final	Planning Dept.	Planning Dept.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
affect water quality thereby indirectly affecting listed salmonid species.	197 121, 122, 123, 124 shall be established to include all areas within a setback of 20 feet from the top of bank of this creek and deed restricted to prohibit grading, tree cutting, trash deposition, landscaping other than natural habitat restoration, storage of materials, filling, structures, dumping of chemicals, or disruptive activities. The applicant shall replant the Riparian Enhancement Area. The planting and maintenance of the plantings shall be conducted per a plan prepared by a qualified biologist. The replanting shall include riparian species along the creek and oaks, bay, and buckeye further from the creek. The plan shall include the planting of at least three replacement trees (of the same species as the tree removed) for each oak, bay, buckeye, and Oregon ash that is removed. Within the 20-foot riparian habitat setback, appropriate native ground covers and shrubs will also be established to filter runoff from developed portions of nearby lots. All plantings established under this plan shall be irrigated and replaced as needed as well as monitored by the plan preparer for a period of no less than 3 years to ensure successful establishment. The Riparian Enhancement Area shall be maintained by the HOA pursuant to this plan.		Map for Phase in which lots are located		Approval of Final Map for Phase in which lots are located
	3.3-A.2: Construction activities within Cleland Mountain Creek shall be limited to the dry season when no flowing water is present in the channel. Channel disturbance shall be kept to a minimum	Project Applicant	Prior to initiation of construction within	Planning Dept.	Planning Dept.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	during construction activities within the channel and only occur within designated areas.		Cleland Mountain Creek channel		During construction activities
	3.3-A.3: When water is present within Cleland Mountain Creek, a qualified biologist shall conduct a clearance survey to determine the presence or absence of western pond turtle individuals immediately prior to the start of work. If western pond turtles are observed where they could be potentially impacted by Project activities, then work shall not be conducted within 100 feet of the turtle(s) until a qualified biologist has relocated the turtle(s) outside of the Project boundary. If turtle eggs are uncovered during construction activities, then all work shall stop within a 25-foot radius of the nest and CDFW shall be notified immediately. The 25-foot buffer shall be marked with identifiable markers that do not consist of fencing or materials that may block the migration of young turtles to the water or attract predators to the nest site. No work will be allowed within the 25-foot buffer until CDFW has been consulted.	Project Applicant Project Biologist	Prior to initiation of construction within Cleland Mountain Creek channel	Planning Dept. CDFW	Planning Dept. Prior to issuance of construction permits
	3.3-A.4: Removal of nesting habitat (for grasshopper sparrows, migratory birds and raptors) from the work area shall only take place between September 1 and January 31 to avoid impacts to nesting birds. If removal of nesting habitat is required during the nesting season, a nesting bird survey shall be conducted by a	Project Applicant Project Biologist	Prior to tree removal and/or grading activities between February 1	Planning Dept. CDFW	Planning Dept. Prior to removal of nesting habitat during

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	qualified biologist no more than 5 calendar days prior to disturbance. If an active nest is located, the biologist will coordinate with CDFW to establish appropriate buffers and any monitoring requirements. Removal of existing vegetation shall not exceed the minimum necessary to complete operations.		and August 31.		nesting season.
	3.3-A.5: A pre-construction/demolition bat survey shall be conducted by a qualified biologist within 5 days prior to the removal of suitable bat habitat (i.e., existing building). Mature trees and the existing outbuilding present on the project site should only be removed between September 16 and March 15, outside of the bat maternity season. Trees should be removed at dusk to minimize impacts to roosting bats.	Project Applicant Project Biologist	Prior to removal of outbuilding and/or tree removal	Planning Dept.	Planning Dept. Prior to removal of outbuilding and/or tree removal
	3.3-A.6: Prior to any discharge or fill material into waters of the U.S., authorization under a Nationwide Permit shall be obtained from the U.S. Army Corps of Engineers, if necessary. For fill requiring a Corps permit, a water quality certification from the Regional Water Quality Control Board shall also be obtained	Project Applicant	Prior to activities requiring said permits	Planning Dept. CDFW ACOE RWQCB	Planning Dept. Prior to approval of any work within Cleland Mountain Creek corridor
	3.3-A.7: Prior to any activities that would obstruct the flow of or alter the bed, channel, or bank of any perennial, intermittent, or ephemeral creeks, notification of streambed alteration shall	Project Applicant	Prior to activities requiring said permits	Planning Dept. CDFW	Planning Dept.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	be submitted to the CDFW, and, if required, a Lake and Streambed Alteration Agreement shall be obtained.				Prior to approval of any work within Cleland Mountain Creek corridor
3.3-B: Project construction would remove up to 25 oaks.	Mitigation Measure 3.3-A.1 also applies to this impact.	See the cited measure.			
	3.3-B.1: An assessment shall be conducted that determines the area and number of oaks and other native hardwoods that would be removed or adversely impacted as a result of project development on Lots 121, 122, 123, 124 and Lot 4 of Tract 261. Building envelopes on Lots 121, 122, 123, 124 and Lot 4 of Tract 261, as well as driveway and utility connection locations, shall be adjusted if needed to avoid loss or both short-term and long-term adverse effects on native trees. The area outside of these building envelopes shall be deed restricted to require maintenance of existing native trees, and prohibition of lawns and landscaping incompatible with long-term survival of these trees, while allowing pruning and removal of any dead or dying trees, dead limbs and brush, and any clearances required as needed to reduce wildland fire hazard. All removed hardwoods shall be replaced with the same species at a	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction implementation

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>minimum replacement ratio of 3:1 within the 20-foot riparian setback zone along the top of the bank of Cleland Mountain Creek. A minimum 3-year monitoring plan shall track planted trees and replace all that are dead or dying.</p>				
	<p>3.3-B.2: If any of the 11 oak trees are removed, they shall be replaced at a mitigation ratio of 8:1. Trees shall be staked and screened for rodent protection and shall be irrigated for at least 3 years. The mitigation trees shall be located on properties that will be managed and maintained by the HOA.</p>	<p>Project Applicant</p> <p>Project Construction Manager during construction</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept.</p> <p>Completion of construction implementation</p>
<p>3.3-D: Project construction would restrict wildlife movement and displace nesting sites.</p>	<p>Mitigation Measure 3.3-A.1 also applies to this impact.</p>	<p>See the cited measure.</p>			
<p>3.3-E: The project plus other proposed new development in the area could have a cumulative impact on Russian River water quality and oak woodlands.</p>	<p>Mitigation Measures 3.2-C.1, 3.2-C.2, 3.2-D.1, 3.2-D.2, and 3.3-A.1 also apply to this impact.</p>	<p>See the cited measure.</p>			

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
CULTURAL RESOURCES					
<p>3.4-A: Cultural resources could be damaged or destroyed by project construction.</p>	<p>3.4-A.1: If cultural resources are discovered on the site during construction activities, all earthmoving activity in the area of impact shall be halted until the applicant retains the services of a qualified archaeological consultant. These archaeological sites will be documented (by a professional meeting the Secretary of the Interior qualification standards) on DPR forms and evaluated for their eligibility for the California Register. The archaeological consultant shall identify specific measures to mitigate impacts to the resource if it is deemed eligible for the California Register. Mitigation shall include data recovery operations, protection in situ of deposits, and/or archival research, if appropriate. The applicant shall abide by the recommended proposals.</p>	<p>Project Applicant Project Construction Manager during construction</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept. Completion of construction for implementation</p>
	<p>3.4-A.2: In the event that human skeletal remains are discovered, work shall be discontinued in the area of the discovery and the County Coroner shall be contacted. If skeletal remains are found to be prehistoric Native American remains, the Coroner shall call the Native American Heritage Commission within 24 hours. The Commission will identify the person(s) it believes to be the "Most Likely Descendant" of the deceased Native American. The Most Likely Descendant would be</p>	<p>Project Applicant Project Construction Manager during construction</p>	<p>Issuance of Building, Grading or Other Permits</p>	<p>Planning Dept.</p>	<p>Planning Dept. County Coroner Completion of construction for implementation</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	responsible for recommending the disposition and treatment of the remains. The Most Likely Descendant may make recommendations to the landowner or the person responsible for the excavation/grading work for means of treating or disposing of the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98.				
3.4-B: Paleontological resources could be damaged or destroyed by project construction.	3.4-B.1: During project grading operations, should any undiscovered evidence of paleontological resources be encountered, work at the place of discovery shall be halted, and a qualified paleontologist shall be consulted to assess the significance of the finds. Prompt evaluations can then be made regarding the finds, and a management plan consistent with CEQA. cultural resources management requirements shall be adopted.	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction for implementation
TRAFFIC AND CIRCULATION					
3.5-C: The proposed roundabout may not be able to accommodate truck and bus traffic.	3.5-C.1: The project applicant shall design the proposed South State Street/Plant Road roundabout to accommodate all existing and anticipated buses and large trucks. Turning template diagrams shall be provided to the County Department of Transportation for the largest bus and trucks anticipated to be using the roundabout.	Project Applicant	Final Subdivision Map or Issuance of Building, Grading or Other Permits	Mendocino County Department of Transportation (DOT)	DOT Approval of Final Subdivision Map

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>3.5-F: The project design does not adequately provide for mass transit access.</p>	<p>3.5-F.1 To provide access for project residents to the existing Mendocino Transit northbound bus stop on Plant Road across from the project site, a pedestrian walkway shall be constructed between the proposed roundabout at South State Street/ Plant Road-Charlie Barra Drive and the bus stop. The applicant shall also work with Mendocino Transit Authority to investigate the feasibility of providing a bus stop for southbound bus service within walking distance of the project site.</p>	Project Applicant	Final Subdivision Map or Issuance of Building, Grading or Other Permits	Mendocino County Department of Transportation (DOT)	DOT Approval of Final Subdivision Map
<p>3.5-I: The project plus other new development would generate new traffic that would add congestion to study area intersections.</p>	<p>3.5-I.1: The applicant and/or future site developers shall pay the adopted Ukiah Valley Area Transportation Impact Fee at the time that building permits are issued.</p>	Project Applicant	Building Permits	Planning Dept. Mendocino Council of Governments	Planning Dept. Issuance of Building Permits
AIR QUALITY					
<p>3.6-A: Construction activities associated with development of the project would generate short-term emissions of criteria</p>	<p>3.6-A.1: The project applicant and construction contractor shall for all construction project phases prepare and implement a dust control program to limit construction emissions of PM₁₀ The program shall include at least the following provisions from MCAQMD Rule 1-430 Fugitive Dust. Because the site is over one acre in size, a</p>	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>pollutants, including fine and respirable particulate matter and equipment exhaust emissions.</p>	<p>Grading Permit must be approved by MCAQMD. and MCAQMD may require additional mitigations.</p> <ul style="list-style-type: none"> a. Covering open bodied trucks when used for transporting materials likely to give rise to airborne dust. b. The use of water or chemicals for control of dust in the demolition of existing buildings or structures. c. All visibly dry disturbed soil road surfaces shall be watered to minimize fugitive dust emissions. d. All unpaved surfaces, unless otherwise treated with suitable chemicals or oils, shall have a posted speed limit of 10 miles per hour. e. Earth or other material. that has been transported by trucking or earth moving equipment, erosion by water, or other means onto paved streets shall be promptly removed. f. Asphalt, oil, water or suitable chemicals shall be applied on materials stockpiles, and other surfaces that can give rise to dust emissions. g. All earthmoving activities shall cease when sustained winds exceed 15 miles per hour. h. The operator shall take reasonable precautions to prevent the entry of unauthorized vehicles onto the site during non-work hours. i. The operator shall keep a daily log of activities to control fugitive dust. 				

EXHIBIT “F”
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>3.6-A.2 The proposed development will require the preparation of a detailed grading and erosion control plan subject to review and approval by the County prior to earth moving activities (Municipal Code section 18.70.060 – Grading Permit Requirements). Grading will be completed in compliance with County standards.</p>	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction
	<p>3.6-A.3 Dust control rules and regulations as required by the MCAQMD will be adhered to (Rule 1-200, 1-400(a), 1-410, 1-420, 1-430). These regulations minimize fugitive dust particle during construction. Measures imposed by the MCAQMD include, but not limited to:</p> <ul style="list-style-type: none"> ● All visibly dry disturbed soil surfaces shall be watered to minimize fugitive dust. ● Installation of a “stabilized construction entrance/exit” as detailed in the Department of Transportation storm water handbook (TC-1) will be utilized. ● Earth or other material tracked on to neighboring paved roads shall be removed promptly. ● Dust generating activities will be limited during periods of high winds (over 15 mph). ● Access of unauthorized vehicles onto the construction site during non-working hours shall be prevented. 	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<ul style="list-style-type: none"> ● A weekly log shall be kept of fugitive dust control measures that have been implemented. ● Restrict idling of diesel engines on the site to less than 5 minutes. ● All haul trucks transporting soil, sand or other loose materials off-site shall be covered. ● All vehicle speeds on unpaved roads shall be limited to 15 mph. ● Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure title 13, Section 2485 of the California Code of Regulations). Clear signage shall be provided for construction workers at access points. ● All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. ● Post a publicly visible sign with telephone number for the applicant's representative regarding dust complaints. This person shall respond and take corrective action within 48 hours. The MCAQMD phone number shall 				

**EXHIBIT “F”
 AMENDED MITIGATION MONITORING & REPORTING PROGRAM
 for the Bella Vista Subdivision**

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	also be visible to ensure compliance with applicable regulations.				
	<p>3.6-A.4 All off road construction equipment with engines greater than 50 horsepower (hp) and operating on the site for more than two days or 20 hours shall meet, at a minimum, U.S. EPA particulate matter emission standards for Tier 4 engines or equivalent. In the event that such equipment is not available, the use of Tier 3 construction equipment is sufficient so long as it can be demonstrated to the County that similar Tier 4 construction equipment is not readily available</p>	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction
	<p>3.6-A.5 The applicant shall submit a Construction and Demolition Waste Management Plan (CWMP) to the Mendocino Solid Waste Management Authority prior to the start of construction-related activities in accordance with Mendocino Solid Waste Management Authority requirements (Ordinance 4301). The CWMP will outline measure to capture and recycle materials that would otherwise end up in the waste stream.</p>	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept. MSWMA	Planning Dept. During and at Completion of construction
<p>3.6-F: The project will use more energy and thereby generate greenhouse gas emissions that would</p>	<p>3.6-F.1 The project shall minimize the emission of greenhouse gases by including at least the following:</p> <ul style="list-style-type: none"> • The project shall be constructed to incorporate the 2010 Title 24 building standards (or 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
adversely affect the global climate.	<p>whatever standards have been adopted at the time that building permits are issued).</p> <ul style="list-style-type: none"> • Project residential units shall be oriented for maximum solar access. Roofs shall be constructed to allow easy and efficient retrofitting with roof-top solar panels. • The project applicant shall ensure that the CC&Rs of the Homeowner's Association develops and maintains energy- and water-efficient practices for the common areas of the subdivision and follows a landscaping plan that does not impair the efficient operation of the solar collection facilities. 				
	<p>3.6-F.2 All residences would be constructed in accordance with the most recent edition of Title 24 of the California Building Code (CBC). The CBC contains mandatory requirements that apply to residential buildings that will be a part of the project which include: high performance attics insulation and walls, high efficacy lighting, windows, water heating and HVAC systems. Specific energy conservation features include:</p> <ul style="list-style-type: none"> • Structures will incorporate natural cooling by utilizing window overhangs, awnings, front and rear patios, shade from neighboring structures, radiant heat-reflective barriers in the attic and appropriate tree plantings or a combination thereof. 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<ul style="list-style-type: none"> ● Structures will be constructed in compliance with solar requirements found in Title 24 of the California Building Code. ● Project will incorporate Energy Star Certified Appliances. At a minimum, the following appliances are recommended to be Energy Star rated: dishwasher and water heater. ● Natural lighting may be incorporated into the home through solar tubes and sky lights. ● Windows, sky lights and other fenestration will meet energy code requirements and will be Energy Star certified. These elements will have low U-factor (U-value) rating. U-factors is a rate of non-solar heat loss or gain through a while window assembling. The lower the U-factor, the greater a window's resistance to heat flow and the better its insulating value. ● Project will incorporate the use of low flow toilets and faucets that meet the standards as set forth by the California Energy Commission. ● All landscaping will be installed to AB 1881 (The Water Conservation in Landscaping Act of 2006) standards, which promotes water efficiency and conservation, using mulch, bubblers, and timed sprinkler systems. 				

EXHIBIT “F”
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>3.6-F.3 The following features shall be included in the Modified Project to reduce GHG emissions:</p> <ul style="list-style-type: none"> • No fireplaces; • Include solar power for each of the residential lots (not quantified); • No natural gas hookups; • Include infrastructure to promote electric car charging (i.e., provide 220VAC outlets); • Meet latest CalGreen Title 24 standards); • Include energy efficient appliances; • Include low-flow water fixtures; and • Include water-efficient irrigation systems (drip systems). 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction
NOISE					
<p>3.7-A: The east end of the project could be exposed to excessive noise.</p>	<p>3.7-A.1: Project-specific acoustical analyses shall be required to confirm that outdoor activity areas are provided with Ldn values at or below 60 dBA, and interior Ldn values will not exceed 45 dBA. Sound insulation measures, including any mechanical ventilation systems needed to permit closed windows, should be designed by an experienced acoustical consultant and incorporated into construction documents submitted for permits.</p>	Project Applicant	Prior to approval of final map for Phases 1 and 2 (east end of project site)	Planning Dept.	Planning Dept. Issuance of Building Permits

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
<p>3.7-C: Construction of project improvements would generate construction noise over a period exceeding one year.</p>	<p>3.7-C.1: Project construction shall not cause excessive noise. To accomplish this standard, the following measures are required:</p> <ul style="list-style-type: none"> • Noise-generating activities at the construction site or in areas adjacent to the construction site associated with the project in any way should be restricted to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No construction activities should occur on weekends or holidays. • Equip all internal combustion engine driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment. • Unnecessary idling of internal combustion engines should be strictly prohibited. • Locate stationary noise generating equipment such as air compressors or portable power generators as far as possible from sensitive receptors. Construct temporary noise barriers to screen stationary noise generating equipment when located near adjoining sensitive land uses. • Utilize "quiet" air compressors and other stationery noise sources where technology exists. • Control noise from construction workers' radios, CD players, etc. to a point that they are 	Project Applicant	During construction of all phases of the project.	Planning Dept.	Planning Dept. Completion of construction

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>not audible at existing residences bordering the project site.</p> <ul style="list-style-type: none"> • Designate a "disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. • Notify existing residents when especially noisy operations are scheduled near their property, allowing the residents to plan activities accordingly. Examples of especially noisy sources: heavy earth moving equipment, jack hammers, pile drivers. 				
AESTHETICS					
<p>3.8-A: The project would replace views from South State Street and other vantage points east of the site</p>	<p>3.8-A.1: Final project design and landscape plan shall undergo design review by the County Department of Planning and Building Services and/or the County Planning Commission to ensure consistency with the design guidelines adopted for this project. The final project shall be</p>	<p>Project Applicant</p>	<p>Upon submittal of project site and landscaping, park, and</p>	<p>Planning Dept.</p>	<p>Planning Dept. Prior to issuance of building permits</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
of open space with views of residential development.	revised, if requested, to comply with the County's review recommendations.		initial building plans,		
	3.8-A.2: Landscaping will be mature within 15 years of initial project construction (Phase 1). Mature means that perimeter trees shall be at least 20 feet tall. The final landscape plan shall include tree landscaping along the north and east sides of the site using species that fully screen views from the east and screens at least half of the buildings on the north side. The plan shall include specifications for planting, irrigating, fertilizing, and replacing dead trees so that the landscaping will be mature within 15 years.	Project Applicant	Development Agreement	Planning Dept. Mendocino County Water Agency	Planning Dept. Mendocino County Water Agency 15 years after project completion
3.8-C: The project would replace views from Gobalet Lane, residences north of Gobalet Lane, and residences south of Oak Knoll Road of open space with views of residential development.	Mitigation Measures 3.8-A.1 and 3.8-A.2 apply to this impact.	See the cited mitigation measures			
3.8-F: New lighting on the project site will	3.8-F.1: The final design shall include a lighting plan that minimizes light escape from the site. The final plan shall become part of the CC&Rs for the	Project Applicant	Development Agreement	Planning Dept.	Planning Dept.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
change nighttime views in the area.	<p>Homeowners Association. This plan shall include the following:</p> <ol style="list-style-type: none"> 1. Light shielding is required. Except as otherwise exempt, all outdoor lighting fixtures shall be constructed with full shielding. Shielding shall prevent the light source from being visible to adjacent residential properties. 2. Minimum/Maximum Level of Illumination. The minimum and maximum levels of illumination permitted are listed below. A photometric study listing the number; type, height, and level of illumination of all outdoor lighting fixtures shall be required prior to issuance of a building permit or site improvement plans to ensure compliance with these provisions. <ol style="list-style-type: none"> a. Minimum security lighting for sidewalks, walkways, parking areas, and similar areas shall be 1.0 foot-candles, measured at ground level, not to exceed 3.0 foot-candles on average. b. In order to minimize light trespass on abutting property, illumination measured on the property line of a subject parcel shall not exceed 0.5 foot-candies, measured on a vertical plane along the property line. c. Building-mounted decorative or security lights shall not exceed 5.0 foot-candles, measured a distance of five feet from the light source. All buildings lighting shall be reviewed and 				Issuance of Building Permits

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>authorized by Mendocino County prior to the initiation of lighting installation.</p> <p>3. Maximum Height of Outdoor Light Fixtures. The maximum height of freestanding outdoor light fixtures for multi-family residential development and non-residential development abutting a single-family residential zoning district or use shall be 20 feet. Otherwise, the maximum height for freestanding outdoor light fixtures shall be 25 feet.</p> <p>4. Type of illumination. All outdoor lighting fixtures shall be energy efficient. Energy efficient lights include all high-intensity discharge lamps (mercury vapor, high-pressure sodium, low-pressure sodium, and metal halide). The concentrated and/or exclusive use of either low-pressure sodium or metal halide lighting is prohibited.</p> <p>5. Hours of illumination. Automatic timing devices shall be required for all outdoor light fixtures on multi-family residential and non-residential development (e.g., parks) with off hours (exterior lights turned off) between 11:00 p.m. and 6:00 a.m. Exceptions are that outdoor lights may remain on in conjunction with the hours of operation of the corresponding use, for security purposes, or to illuminate walkways, roadways, equipment yards, and parking lots.</p> <p>6. Prohibited Lighting. The following outdoor light fixtures shall be prohibited as specified below.</p>				

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<ul style="list-style-type: none"> a. Lighting of parks for active nighttime recreation. b. Uplighting/back-lit canopies or awnings. c. The concentrated and/or exclusive use of either low- pressure sodium or metal halide lighting d. Neon tubing or band lighting along building structures e. Searchlights. f. Flashing lights. g. Illumination of entire buildings. Building illumination shall be limited to security lighting and lighting of architectural features authorized by the designated Approving Authority in conjunction with the required development permit(s). h. Roof mounted lights except for security purposes with motion detection and full shielding so that the glare of the light source is not visible from any public right- of-way. 				
PUBLIC SERVICES AND INFRASTRUCTURE					
3.9-C: Development of the project would increase the demand for police response	3.9-C.1: The final project design shall be reviewed by the Sheriff's Office to determine if it provides adequate access, security lighting, and other factors affecting police response. The final map	Project Applicant	Final Subdivision Map	Mendocino County Sheriff's Office	Sheriff's Office Planning Dept.

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
by the Mendocino County Sheriff's Office and by the Ukiah Police Department and would increase demand on other portions of the criminal justice system.	shall incorporate security measures required by the Sheriff's Office.				Issuance of Building Permits
3.9-F: New development resulting from the project and other new development in the area would increase the demands on the Ukiah Valley Fire District and the emergency medical response system possibly require the construction of new facilities.	3.9-F.1: If the County has not adopted additional funding for the EMS system at the time of approval of the Development Agreement, then the applicant shall agree within the Development Agreement to pay any fees that the County adopts for EMS funding prior to and/or within five years of approval of the Development Agreement.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Issuance of Building Permits
3.9-H: The project would contribute to the need for a new water	3.9-H.1: The applicant shall enter into an agreement with the Willow County Water District to pay a capital improvement fee (estimated at	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Willow CWD

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
storage facility.	\$400,000) to fund the project's share of the replacement and expansion of the Fircrest Drive water storage tank.			Willow CWD	Issuance of Building Permits
3.9-M: The project would increase the plan area population, thereby increasing the demand for parks and recreational facilities. This increased demand could result in significant deterioration of existing facilities and the need for new or expanded facilities.	3.9-M.1: Construct and maintain a "tot lot" with playground equipment on one of the two project parks. The tot lot will be maintained by the Homeowner's Association.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Issuance of Building Permits
	3.9-M.2 The Neighborhood Park and the contours of the detention basin shall be modified to establish suitable terrain for a multi-purpose playing field that provides a minimum of 100' x 200' of level playing area.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Issuance of Building Permits
3.9-O: Future development could be placed in locations where people and structures would be exposed to potential wildland fires.	3.9-O.1: The project shall be designed and constructed to minimize risk of wildfire destroying residences. The Ukiah Valley Fire District shall review project plans and determine in writing that adequate access, emergency response, and fire flow are available, and that the project complies with the most current State requirements for development in the wildland/urban interface. Final	Project Applicant	Conditions of Approval	Ukiah Valley Fire District Planning Dept.	Ukiah Valley Fire District Planning Dept. Issuance of Building Permits

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	project design shall conform with any changes that the District requires.				
<p>3.9-R: Toxic materials and wastes on the site could pose a risk to human health.</p>	<p>3.9-R.1: All potential toxic wastes and materials shall be removed and/or remediated prior to site grading. The applicant shall do the following, as recommended in the Phase I Environmental Site Assessment:</p> <ul style="list-style-type: none"> ● Abandon any inoperable water supply wells on the site following all the requirements of the Mendocino County Division of Environmental Health. ● Collect soil samples in the area of the former underground storage tank and the aboveground fuel storage tank. The soil samples shall be tested for Total Petroleum Hydrocarbons as gasoline and the constituents benzene, toluene, ethylbenzene; xylenes, fuel oxygenates, lead scavengers, and total lead. Results of the testing shall be provided to the Mendocino County Division of Environmental Health. If the Division determines that additional testing or remediation is required, the applicant shall fulfill all County requirements. ● If volatile organic compounds are discovered on the site, a human health risk 	Project Applicant	Conditions of Approval	Mendocino County Division of Environmental Health	<p>Mendocino County Division of Environmental Health Planning Dept. Prior to issuance of Grading Permit</p>

EXHIBIT "F"
AMENDED MITIGATION MONITORING & REPORTING PROGRAM
for the Bella Vista Subdivision

Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
	<p>assessment will be performed per requirements of the County Division of Environmental Health. That assessment will identify measures needed to ensure that workers and future residents are not exposed to County- and State- defined harmful levels of these compounds.</p> <ul style="list-style-type: none"> ● Dispose of any waste oil, lubricants, paints, or other liquids in accordance with all applicable regulatory requirements. ● Investigate the fuel source for the prune dryer that formerly was located on the west side of the site to determine its fuel source. If it was gasoline, then conduct soil tests at that site as described above. ● Assess whether the workshop/storage building has the potential for lead paint or asbestos. If so, then demolition shall follow all requirements established by the Mendocino County Division of Environmental Health. 				