



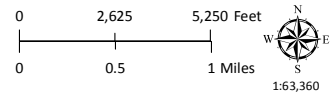




CASE: CDP 2019-0022
 OWNER: STEZ, Nikolai
 APN: 142-190-27
 APLCT: Bob Hartstock
 AGENT: Bob Hartstock
 ADDRESS: 44035 Iversen Road, Gualala

-  Coastal Zone Boundary
-  Major Roads
-  Major Rivers
-  Highways






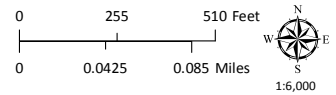
LOCATION MAP
 ATTACHMENT A

MENDOCINO COUNTY PLANNING DEPARTMENT - 6/10/2019





CASE: CDP 2019-0022
OWNER: STEZ, Nikolai
APN: 142-190-27
APLCT: Bob Hartstock
AGENT: Bob Hartstock
ADDRESS: 44035 Iversen Road, Gualala

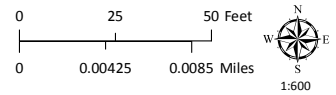
-  Named Rivers
-  Public Roads
-  Driveways/Unnamed Roads

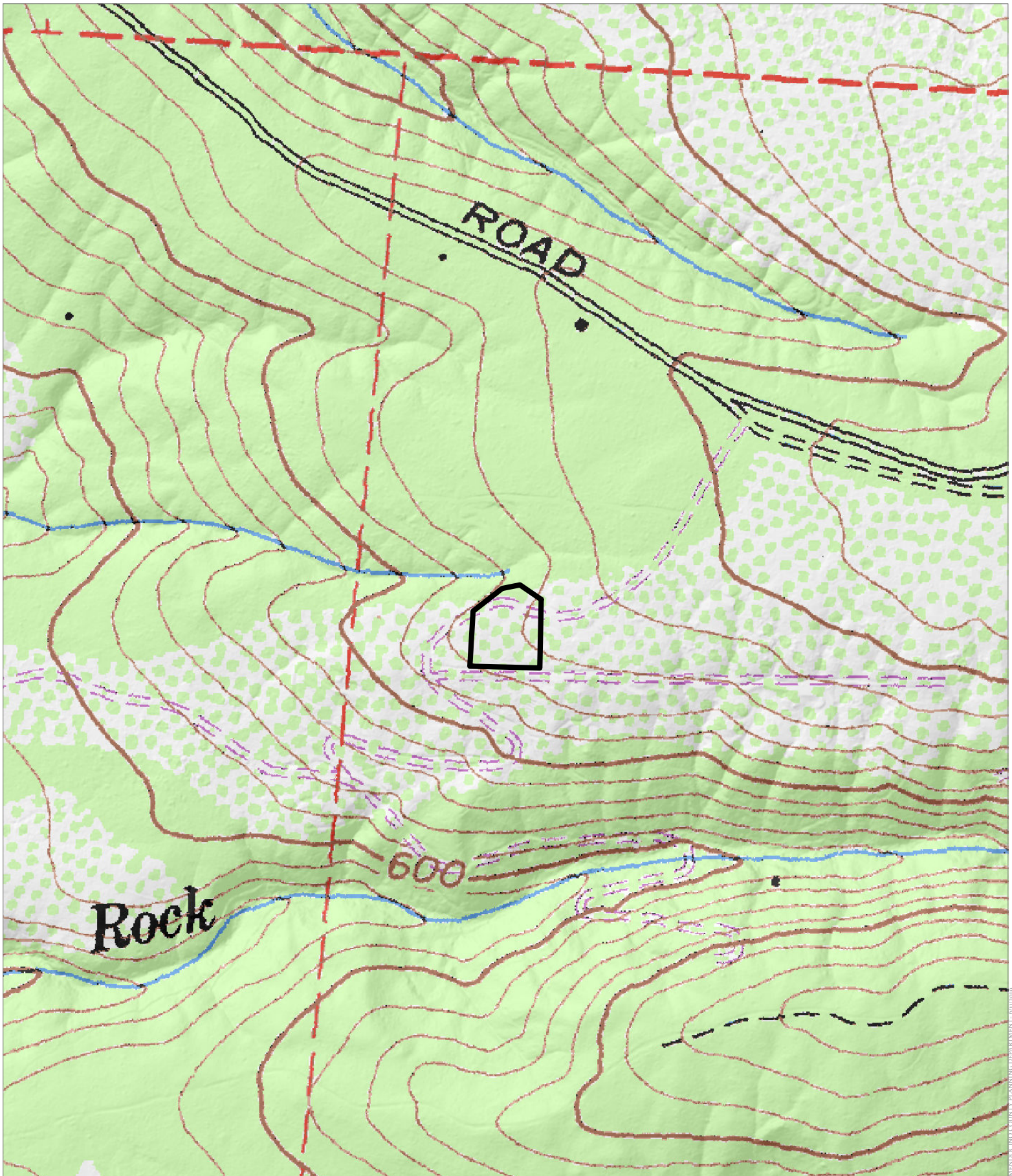




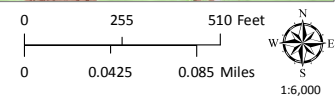
CASE: CDP 2019-0022
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-  Named Rivers
-  Driveways/Unnamed Roads





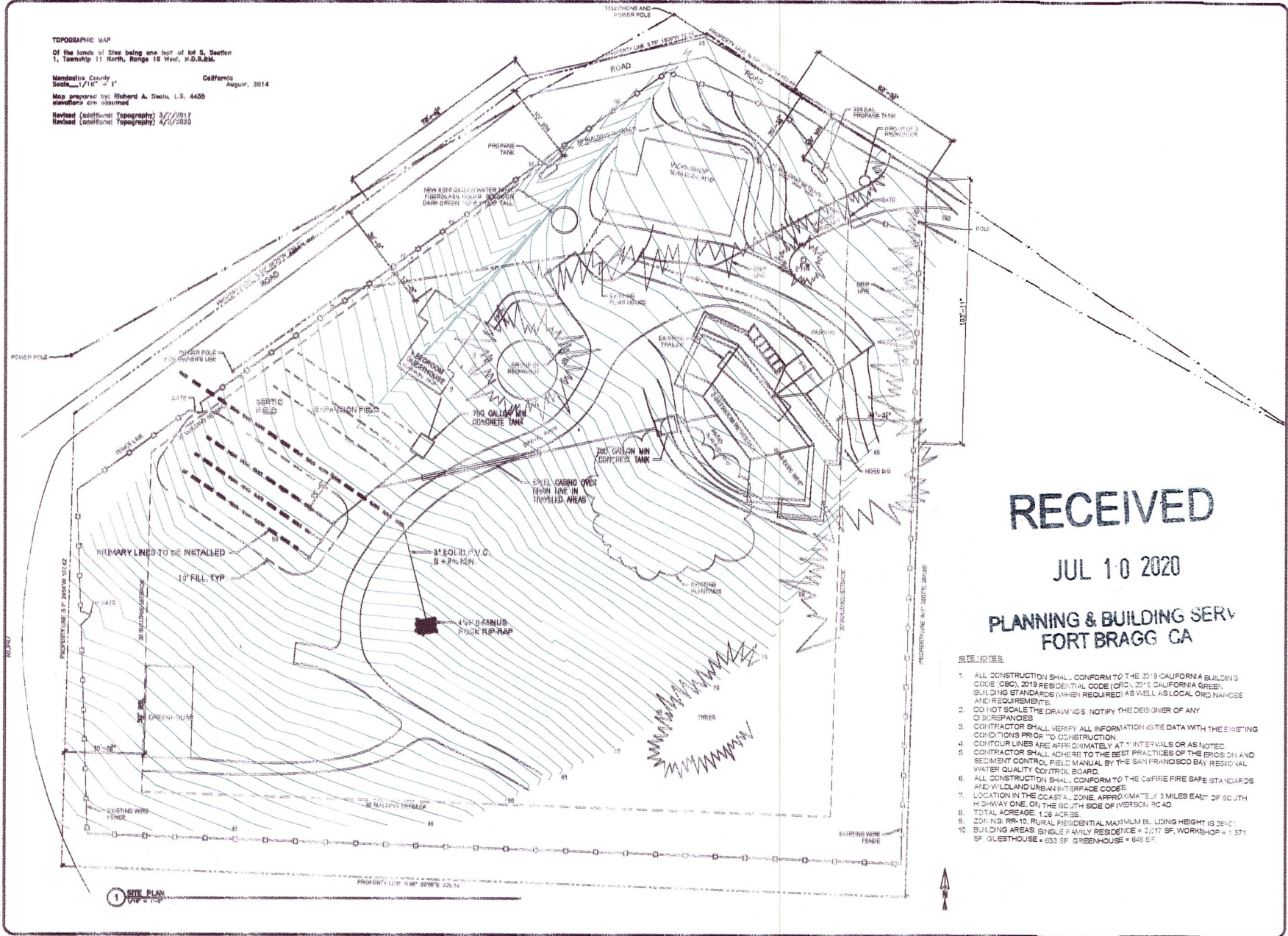
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TOPOGRAPHIC MAP
CONTOUR INTERVAL IS 40 FEET
ATTACHMENT D

VENTURA COUNTY PLANNING DEPARTMENT - 6/15/2019

CASE: CDP 2019-0022
 OWNER: STEZ, Nickolai
 APN: 142-190-27
 APLIC: Bob Hartstock
 AGENT: Bob Hartstock
 ADDRESS: 44035 Iversen Road, Guatala



RECEIVED

JUL 10 2020

PLANNING & BUILDING SERV
 FORT BRAGG CA

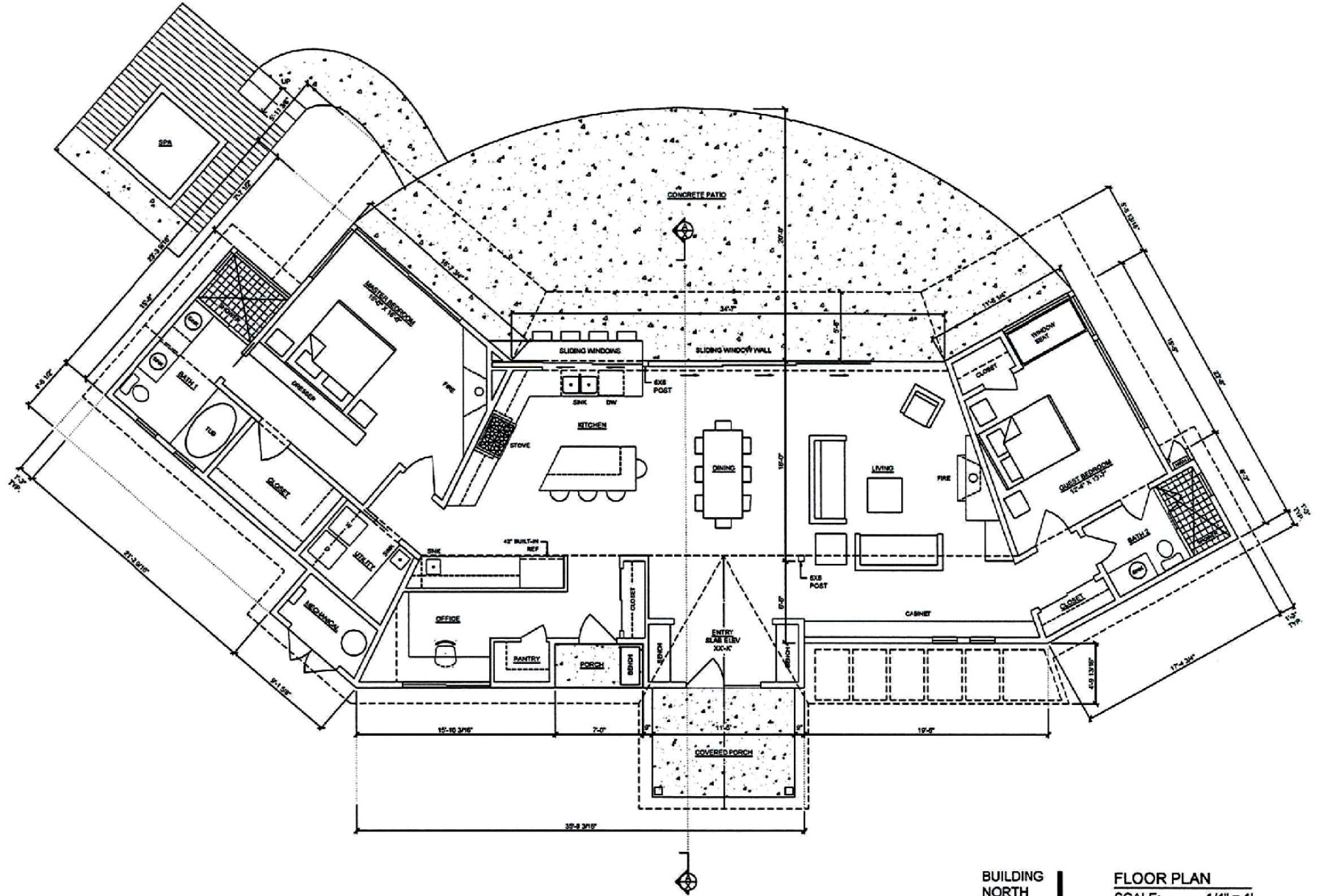
SITE NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE 2019 CALIFORNIA BUILDING CODE (CBC), 2019 SUPPLEMENTAL CODE (SCC), 2019 CALIFORNIA GREEN BUILDING STANDARDS (WHERE REQUIRED) AS WELL AS LOCAL ORDINANCES AND REQUIREMENTS.
2. DO NOT SCALE THE DRAWINGS. NOTIFY THE DESIGNER OF ANY DISCREPANCIES.
3. CONTRACTOR SHALL VERIFY ALL INFORMATION (SITE DATA WITH THE EXISTING CONDITIONS) PRIOR TO CONSTRUCTION.
4. CONTROL LINES ARE APPROXIMATELY AT 1' INTERVALS OR AS NOTED.
5. CONTRACTOR SHALL ADHERE TO THE BEST PRACTICES OF THE EROSION AND SEDIMENT CONTROL FIELD MANUAL BY THE SAN FRANCISCO BAY RESIDENTIAL WATER QUALITY CONTROL BOARD.
6. ALL CONSTRUCTION SHALL CONFORM TO THE CALIFORNIA FIRE SAFETY STANDARDS AND WILDLAND URBAN INTERFACE CODES.
7. LOCATION IN THE COASTAL ZONE, APPROXIMATELY 3 MILES EAST OF SOUTH HIGHWAY ONE, ON THE SOUTH SIDE OF IVERSEN ROAD.
8. TOTAL ACREAGE: 1.28 ACRES.
9. ZONING: RR-10, RURAL RESIDENTIAL. MAXIMUM BUILDING HEIGHT IS 26'-0".
10. BUILDING AREAS: SINGLE FAMILY RESIDENCE = 2,017 SF, WORKSHOP = 1,371 SF, GUESTHOUSE = 623 SF, GREENHOUSE = 648 SF.

NO SCALE

REVISED SITE PLAN

CASE: CDP 2019-0022
 OWNER: STEZ, Nickolai
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BUILDING NORTH
 ↓

FLOOR PLAN
 SCALE: 1/4" = 1'

NOTES:

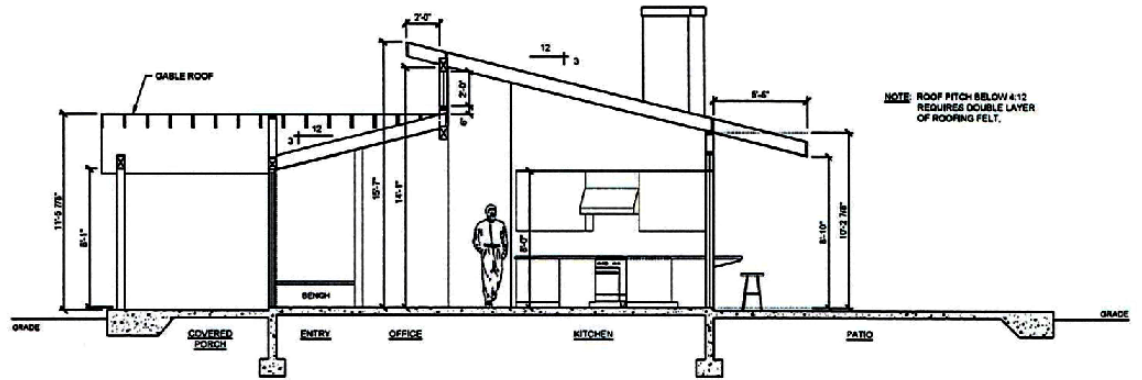
- 1: BUILDING SIZE: HOUSE = 1,980 SQFT
 MECHANICAL = 37 SQFT
 COVERED PORCHES (2) = 124 SQFT
 PATIO = 818 SQFT

ATTACHMENT F

NO SCALE

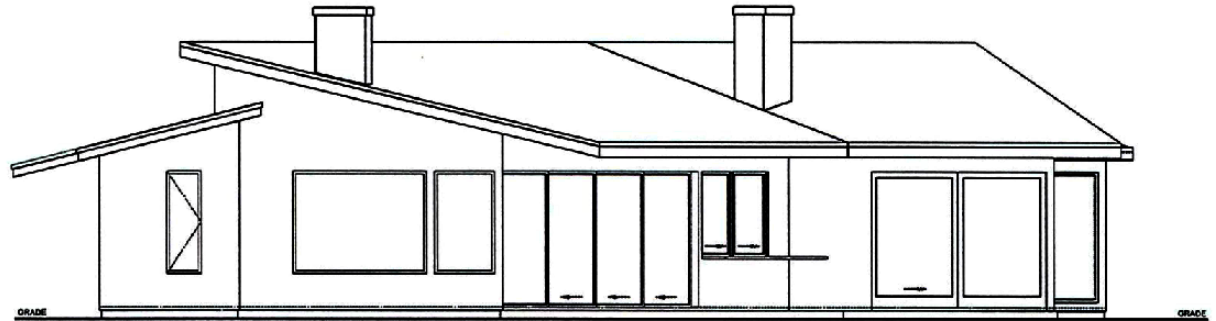
SFR FLOOR PLAN

CASE: CDP 2019-0022
 OWNER: STEZ, Nikolai
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 AP/CT: Bob Hartstock
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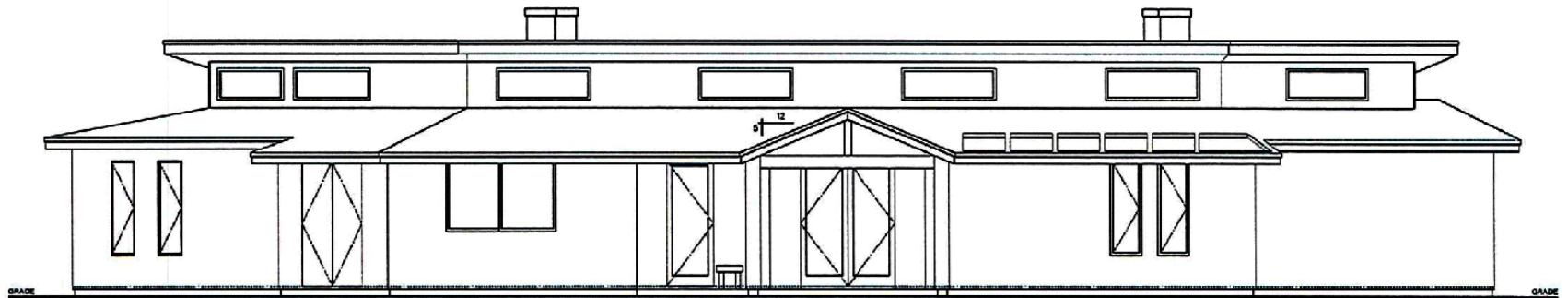


NOTE: ROOF PITCH BELOW 4:12
 REQUIRES DOUBLE LAYER
 OF ROOFING FELT.

SECTION A-A
 SCALE: 1/4" = 1'



WEST ELEVATION
 SCALE: 1/4" = 1'



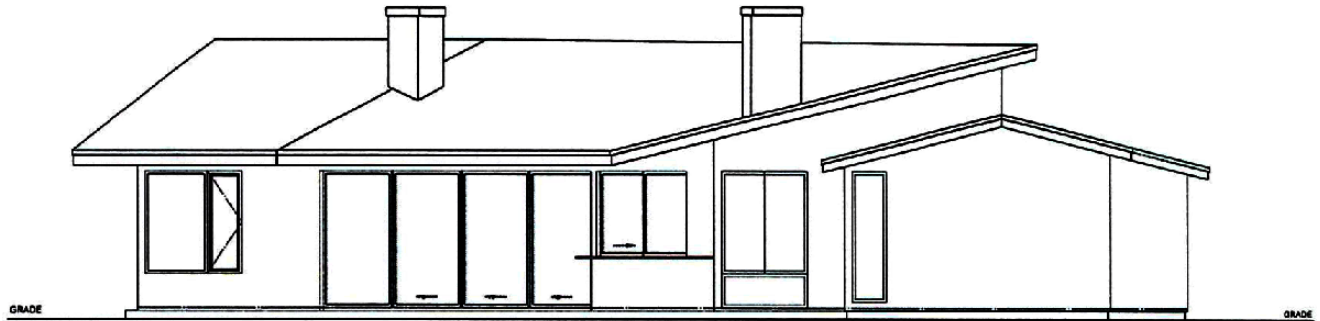
NORTH ELEVATION
 SCALE: 1/4" = 1'

NO SCALE

SFR ELEVATIONS

ATTACHMENT G

CASE: CDP 2019-0022
OWNER: STEZ, Nickolai
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ADDRESS: 44035 Iversen Road, Gualala



EAST ELEVATION
SCALE: 1/4" = 1'



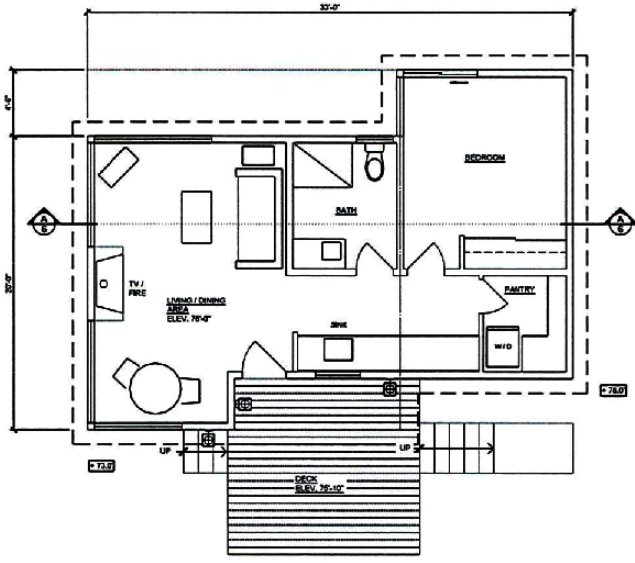
SOUTH ELEVATION
SCALE: 1/4" = 1'

NO SCALE

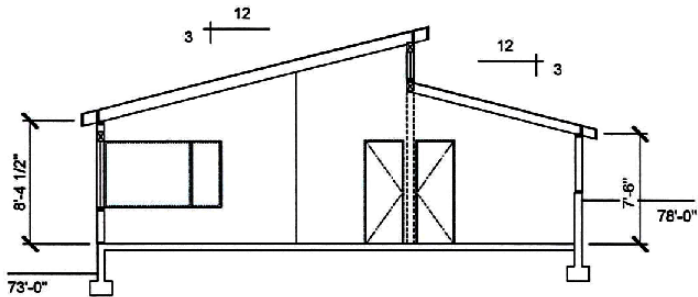
SFR ELEVATIONS

ATTACHMENT H

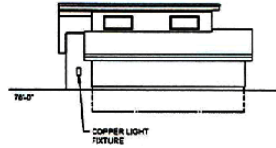
CASE: CDP 2019-0022
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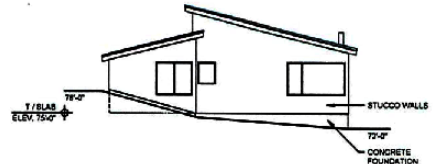
FLOOR PLAN
 SCALE: 1/4" = 1'



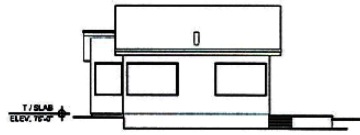
SECTION A-A
 SCALE: 1/4" = 1'



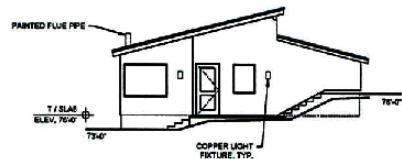
EAST ELEVATION
 SCALE: 1/8" = 1'



NORTH ELEVATION
 SCALE: 1/8" = 1'



WEST ELEVATION
 SCALE: 1/8" = 1'



SOUTH ELEVATION
 SCALE: 1/8" = 1'

GENERAL NOTES:

1. BUILDING SIZE = 633 SQ.FT.

EXTERIOR BUILDING MATERIALS:

1. FOUNDATION TO BE SLAB ON GRADE WITH EXPOSED CONCRETE WALLS.
2. EXTERIOR WALLS TO BE 2x6 STUDS AT 16" O.C. WITH STUCCO, COLOR: TERRA COTTA.
3. ROOF TO BE CLASS A, COMPOSITION SHINGLES, COLOR: BLACK OR CHARCOAL GREY.
4. HOOD TRIM TO BE PAINTED DARK GREY.
5. GUTTERS TO BE COPPER.
6. WINDOWS SHALL BE WHITE VINYL FRAMES WITH CLEAR INSULATED GLASS AND TEMPERED AS REQUIRED.
7. WOOD DOOR TO BE PAINTED TO MATCH STUCCO.
8. EXTERIOR METAL TO BE PAINTED BLACK, EXCEPT FOR COPPER.

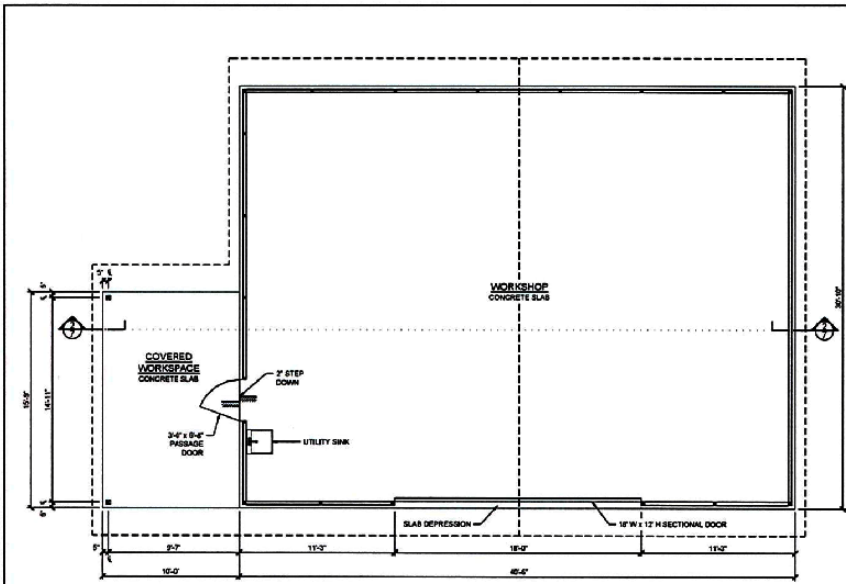
EXTERIOR LIGHTING:

1. EXTERIOR LIGHTS SHALL BE DOWNCAST WALL LIGHTS PER LOCATION ON PLAN.
2. FIXTURE SYMBOL (Ⓢ) DENOTES LIGHT FIXTURE. SEE DETAIL FOR SPECIFICATIONS.

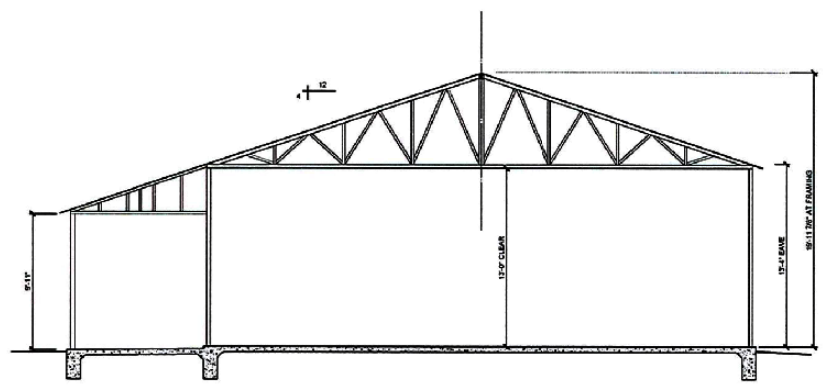
NO SCALE

GUEST HOUSE PLAN

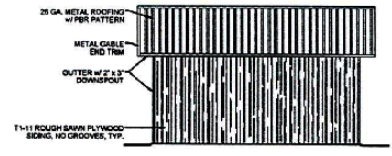
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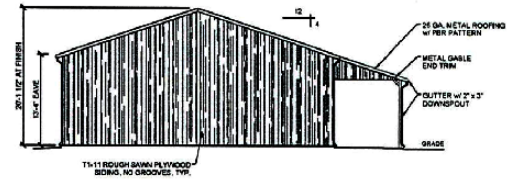
1 FLOOR PLAN
 SCALE: 1/4" = 1'
 BUILDING NORTH ↑



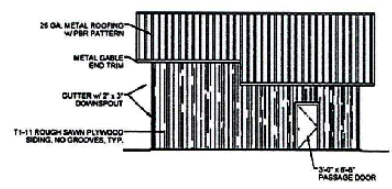
2 SECTION
 SCALE: 1/4" = 1'



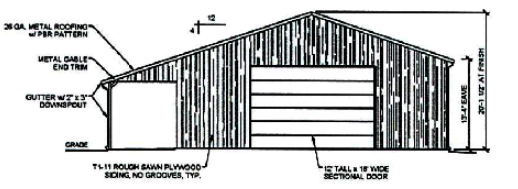
3 EAST ELEVATION
 SCALE: 1/8" = 1'



4 NORTH ELEVATION
 SCALE: 1/8" = 1'



5 WEST ELEVATION
 SCALE: 1/8" = 1'



6 SOUTH ELEVATION
 SCALE: 1/8" = 1'

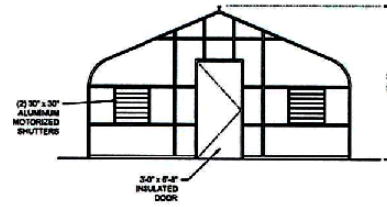
NOTES:
 1. BUILDING SIZE: WORKSHOP (40' x 30'-4") = 1,213 SQFT
 COVERED WORKSPACE (10' x 8'-0") = 156 SQFT

GENERAL NOTES:
 1. FOUNDATION TO BE CONCRETE SLAB ON GRADE.
 2. STEEL FRAMING AND TRUSSES TO BE ENGINEERED BY MANUFACTURER.
 3. EXTERIOR SIDING TO BE T-1-11 ROUGH SAWN PLYWOOD, NO GROOVES, TYPICAL. FINISH TO BE DETERMINED.
 4. METAL ROOF TO BE 26 GA. STEEL WITH FRP PATTERN. COLOR TO BE DETERMINED. METAL TRIM TO MATCH.
 5. SECTIONAL ROLL-UP DOOR TO BE 18' WIDE x 12' TALL. COLOR TO BE DETERMINED.
 6. PASSAGE DOOR TO BE 3'-0" WIDE x 6'-0" TALL. COLOR TO BE DETERMINED.

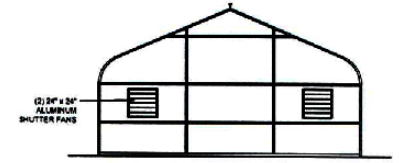
NO SCALE

WORKSHOP PLAN

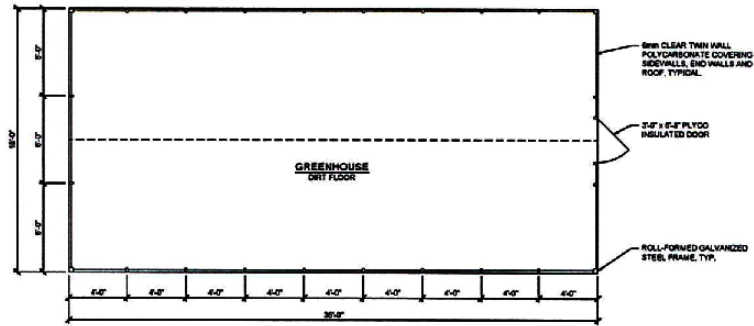
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WEST ELEVATION
 SCALE: 1/4" = 1'

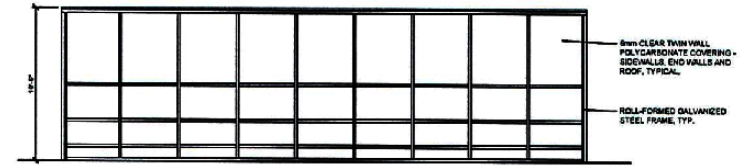


EAST ELEVATION
 SCALE: 1/4" = 1'

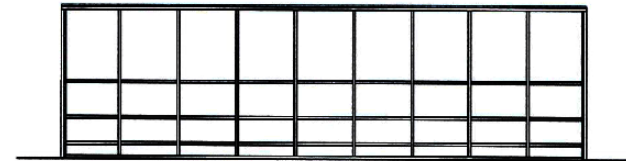


FLOOR PLAN
 SCALE: 1/4" = 1'

BUILDING NORTH ↑



SOUTH ELEVATION
 SCALE: 1/4" = 1'



NORTH ELEVATION
 SCALE: 1/4" = 1'

GENERAL NOTES:


1: BUILDING SIZE: GREENHOUSE = 848 SQFT

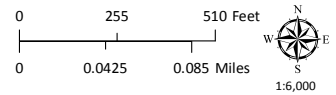
NO SCALE

GREENHOUSE PLAN



CASE: CDP 2019-0022
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 Zoning Districts



MENDOCINO COUNTY PLANNING DEPARTMENT - 6/17/2019

FL 160

FL 160

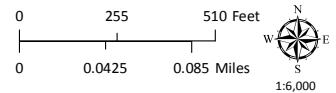
RMR 20

RR 10

FL 160



General Plan Classes



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GENERAL PLAN CLASSIFICATIONS

ATTACHMENT M

MIR-20

FL

RR-10

Green

Rock

TPZ

Port

SHORELINE ACCESS/CIRCULATION

- Shoreline Access Existing
- Shoreline Access Proposed
- View Turnout
- Proposed road alignment

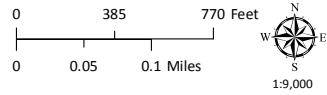
NATURAL ENVIRONMENT

- Prime Agricultural Land
- Pygmy Vegetation
- Pygmy-type Vegetation
- Riparian Vegetation
- Wetlands
- Dunes
- Rare or Endangered Plant Habitat
- Rare or Endangered Wildlife Habitat
- Special Treatment Area
- Flooding

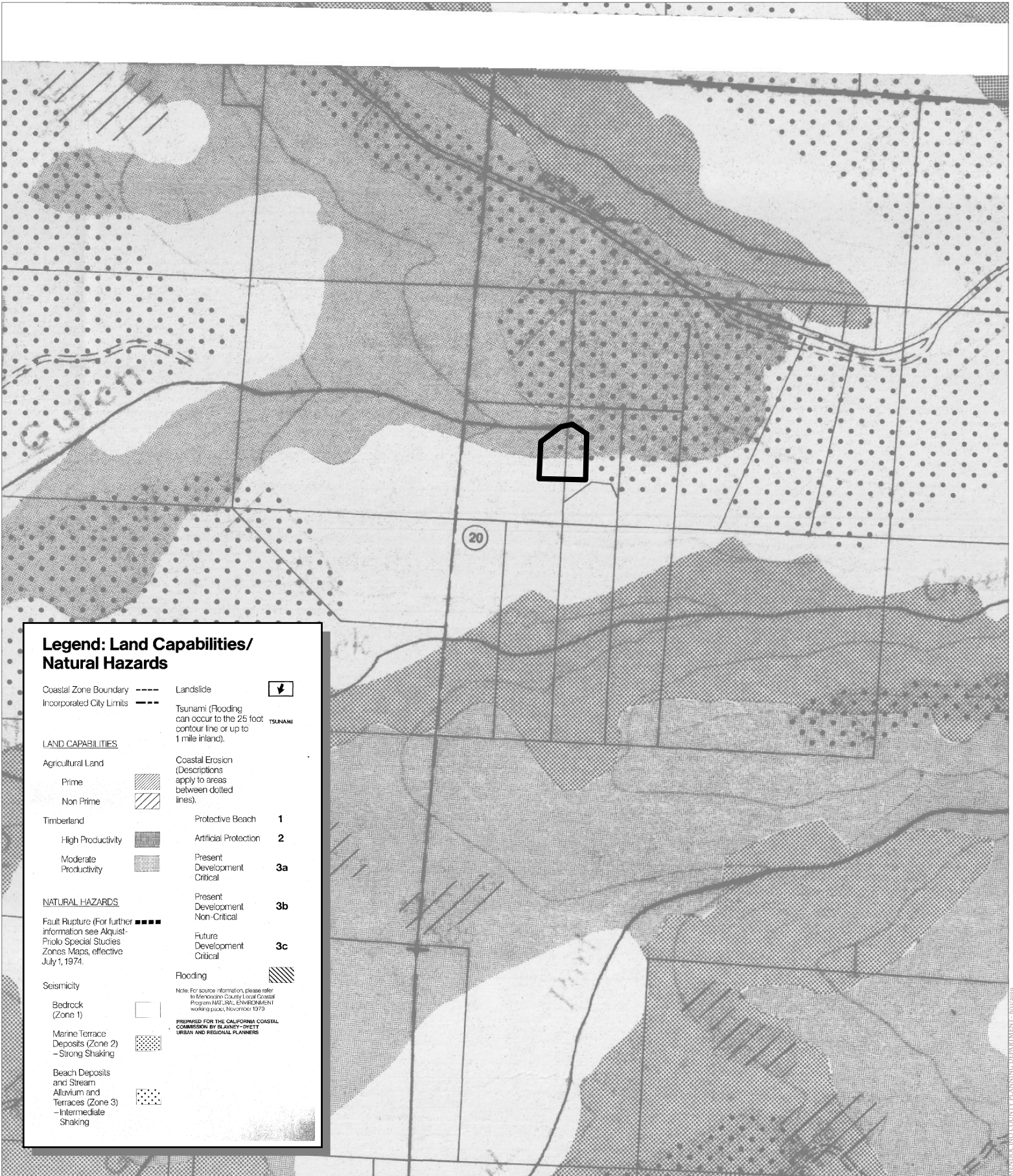
BOUNDARIES

- Urban/Rural Boundary
- Water District
- Sewer District
- Timber Preserve Zone
- Williamson Act

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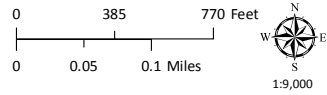
MENDOCINO COUNTY PLANNING DEPARTMENT - 6/17/2019

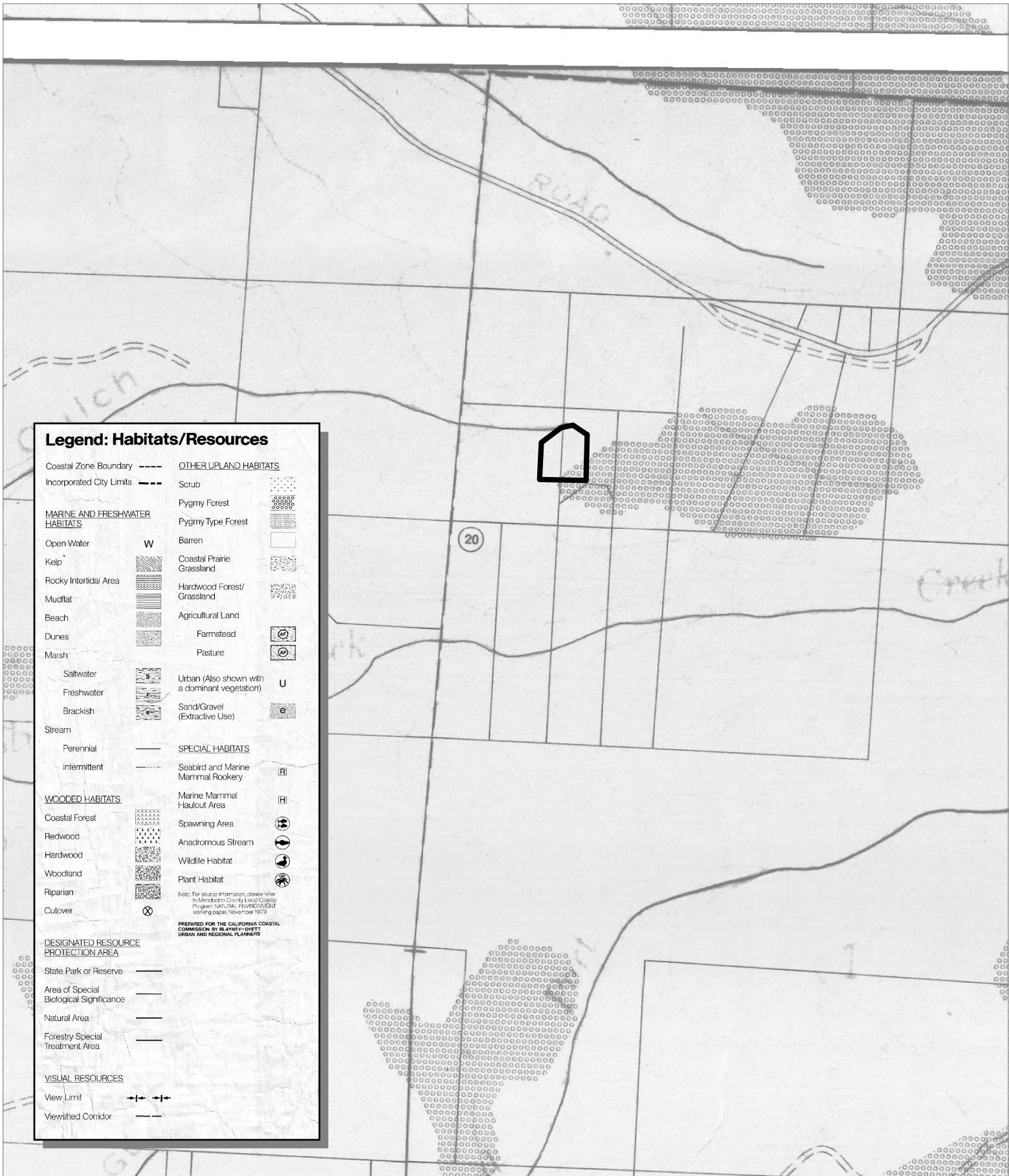


**Legend: Land Capabilities/
Natural Hazards**

- | | | | |
|--|------|--|-----------|
| Coastal Zone Boundary | --- | Landslide | |
| Incorporated City Limits | --- | Tsunami (Flooding can occur to the 25 foot contour line or up to 1 mile inland). | |
| LAND CAPABILITIES | | | |
| Agricultural Land | | Coastal Erosion (Descriptions apply to areas between dotted lines). | |
| Prime | | Protective Beach | 1 |
| Non Prime | | Artificial Protection | 2 |
| Timberland | | Present Development Critical | 3a |
| High Productivity | | Present Development Non-Critical | 3b |
| Moderate Productivity | | Future Development Critical | 3c |
| NATURAL HAZARDS | | | |
| Fault Rupture (For further information see Alquist-Priolo Special Studies Zones Maps, effective July 1, 1974). | ---- | Flooding | |
| Seismicity | | <small>Note: For source information, please refer to Mendocino County Local Coastal Program Map, see, CHWING/Melchior working paper, November 1979</small>
<small>PREPARED FOR THE CALIFORNIA COASTAL COMMISSION BY BLAINEY-DWETT URBAN AND REGIONAL PLANNERS</small> | |
| Bedrock (Zone 1) | | | |
| Marine Terrace Deposits (Zone 2) - Strong Shaking | | | |
| Beach Deposits and Stream Alluvium and Terraces (Zone 3) - Intermediate Shaking | | | |

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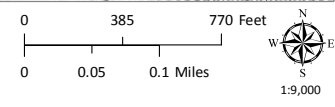


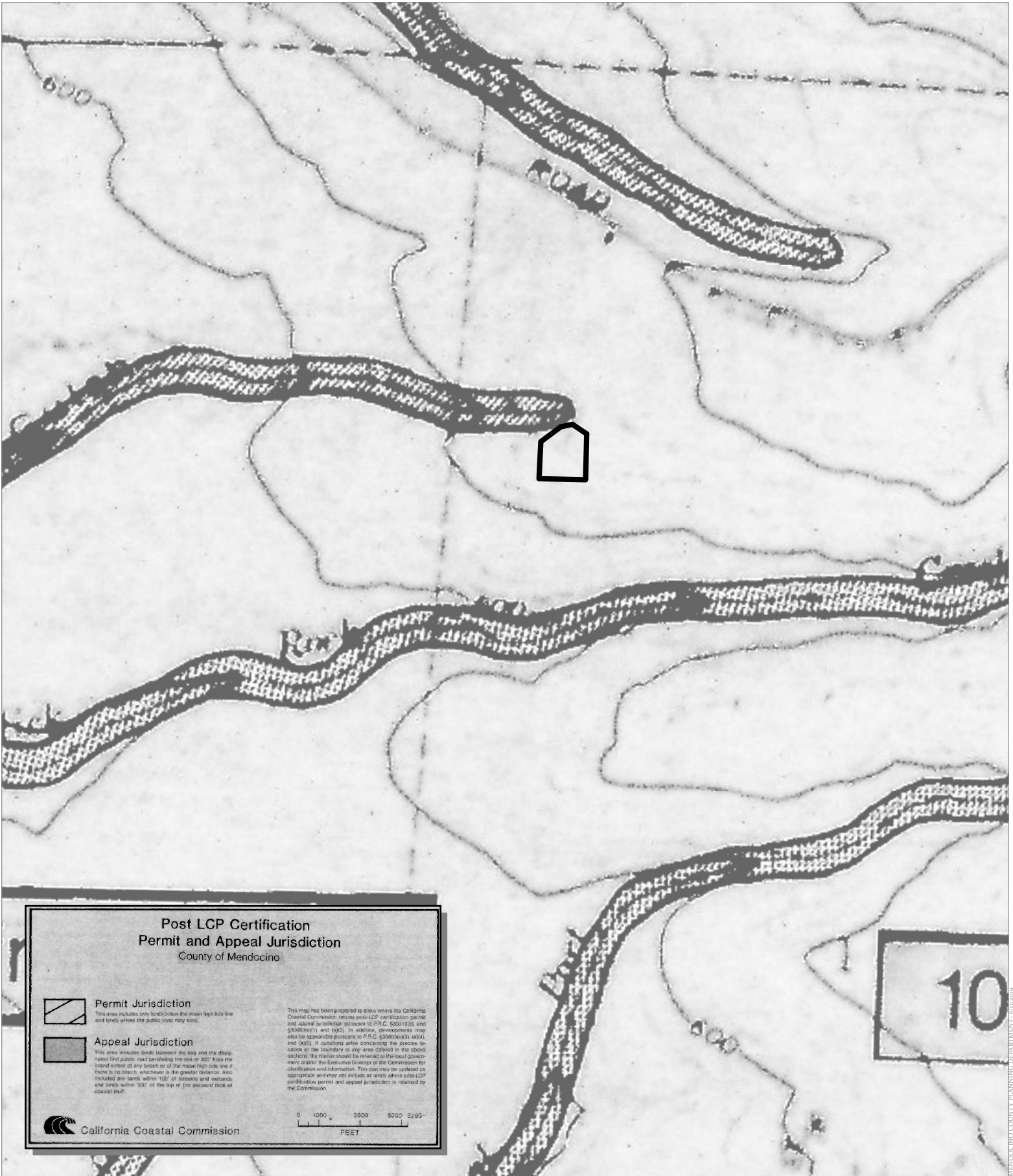


Legend: Habitats/Resources

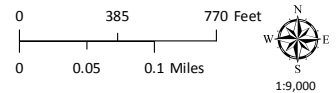
Coastal Zone Boundary	----	OTHER UPLAND HABITATS	
Incorporated City Limits	----	Scrub	[Pattern]
MARINE AND FRESHWATER HABITATS		Pygmy Forest	[Pattern]
Open Water	W	Pygmy Type Forest	[Pattern]
Kelp	[Pattern]	Barren	[Pattern]
Rocky Intertidal Area	[Pattern]	Coastal Prairie Grassland	[Pattern]
Mudflat	[Pattern]	Hardwood Forest/ Grassland	[Pattern]
Beach	[Pattern]	Agricultural Land	[Pattern]
Dunes	[Pattern]	Farmstead	[Symbol]
Marsh	[Pattern]	Pasture	[Symbol]
Saltwater	[Pattern]	Urban (Also shown with a dominant vegetation)	U
Freshwater	[Pattern]	Sand/Gravel (Extractive Use)	e
Brackish	[Pattern]		
Stream		SPECIAL HABITATS	
Perennial	—	Seabird and Marine Mammal Rookery	[Symbol]
Intermittent	- - -	Marine Mammal Haulout Area	[Symbol]
WOODED HABITATS		Spawning Area	[Symbol]
Coastal Forest	[Pattern]	Anadromous Stream	[Symbol]
Redwood	[Pattern]	Wildlife Habitat	[Symbol]
Hardwood	[Pattern]	Plant Habitat	[Symbol]
Woodland	[Pattern]		
Riparian	[Pattern]		
Cutover	[Symbol]		
<small>Note: For source information, please refer to Mendocino County Local Coastal Program NATURAL ENVIRONMENT working paper November 1979</small>			
<small>PREPARED FOR THE CALIFORNIA COASTAL COMMISSION BY BLANNEY-SWETT URBAN AND REGIONAL PLANNERS</small>			
DESIGNATED RESOURCE PROTECTION AREA			
State Park or Reserve	—		
Area of Special Biological Significance	—		
Natural Area	—		
Forestry Special Treatment Area	—		
VISUAL RESOURCES			
View Limit	⇄		
Viewshed Corridor	—		

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142-190-15
HADDON KLING
44141 IVERSEN RD
RR 10 10 A±

142-190-07
WILLIAM GUYAN
44101 IVERSEN RD
RR 10 11 A±

142-190-26
RICHARD KENNEDY
44009 IVERSEN RD
RR 10 0 A±

142-190-14
SARAH BUCKLEY
44025 IVERSEN RD
RR 10 10 A±

142-190-13
NICKOLAI STEZ
44005 IVERSEN RD
RR 10 5 A±

142-190-09
KATHLEEN GIVANT
44051 IVERSEN RD
RR 10 11.18 A±

142-190-27
NICKOLAI STEZ
44035 IVERSEN RD
RR 10 0 A±

142-200-08
DENNIS SUNYOGH
44019 IVERSEN RD
RR 10 10.17 A±

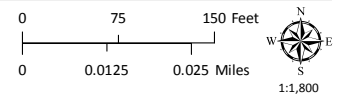
142-200-06
BERNARD HAUSNER
44007 IVERSEN RD
RR 10 10.04 A±

142-200-05
MARIANNA LEUSCHEL
43981 IVERSEN RD
RR 10 10.04 A±

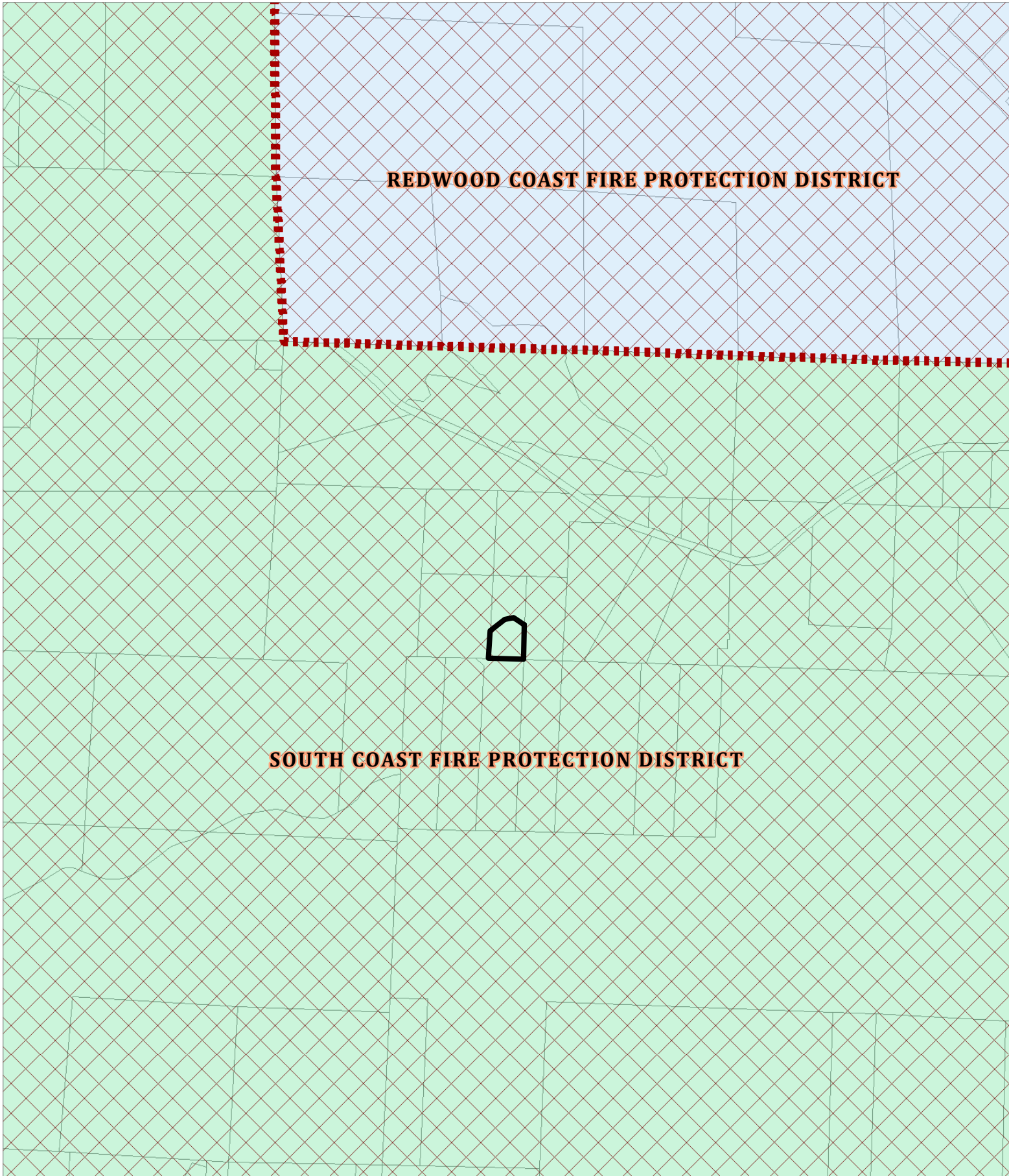
142-200-07
YVONNE DUNTON
43978 IVERSEN RD
RR 10 10.15 A±

142-200-22
KATHLEEN GIVANT
RR 10 20.33 A±

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ADJACENT PARCELS
ATTACHMENT R

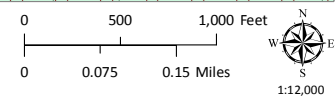


REDWOOD COAST FIRE PROTECTION DISTRICT

SOUTH COAST FIRE PROTECTION DISTRICT

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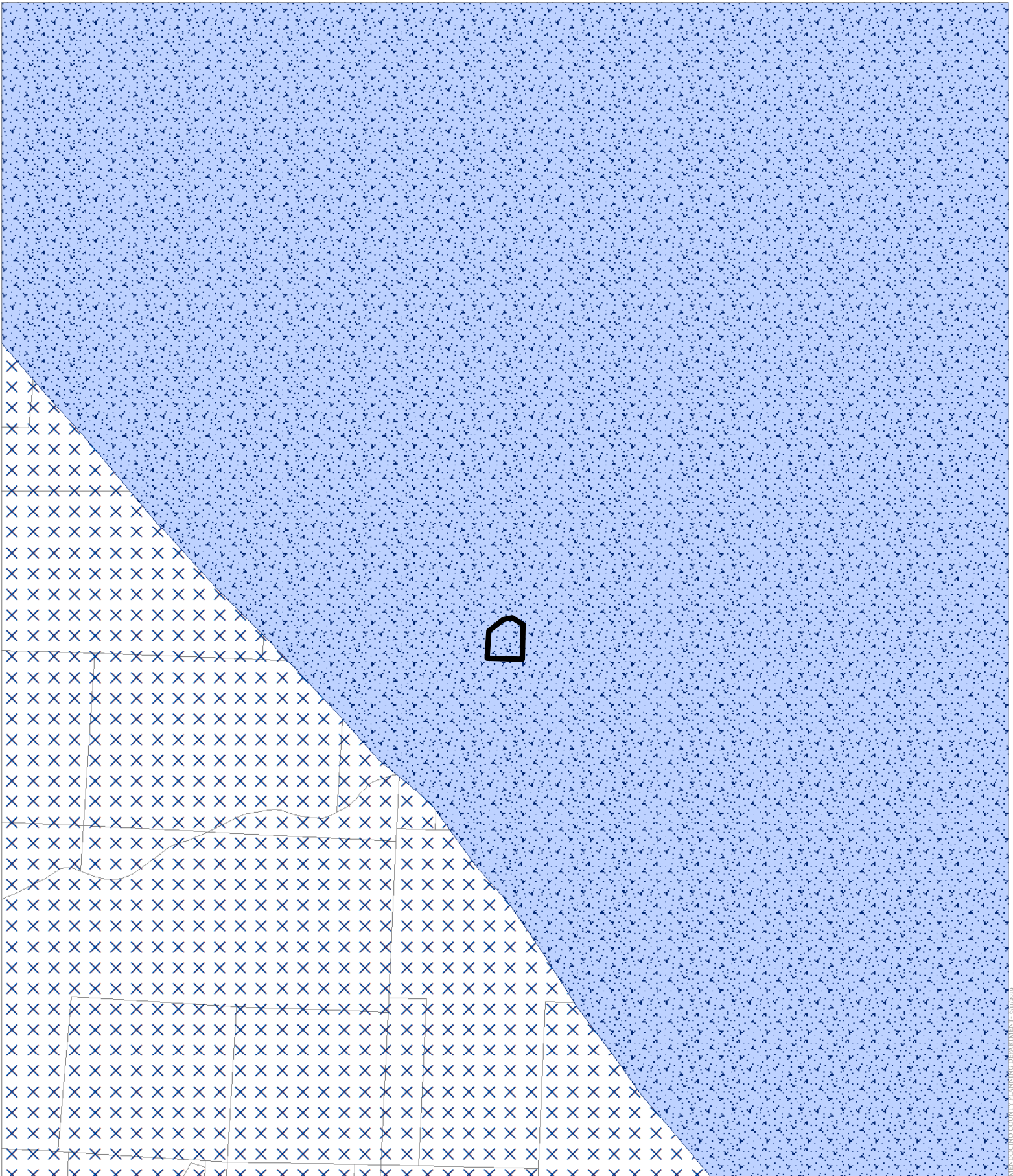
 High Fire Hazard
 County Fire Districts







FIRE HAZARD ZONES & RESPONSIBILITY AREAS
 STATE RESPONSIBILITY AREA

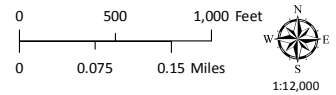
ATTACHMENT S

MENDOCINO COUNTY PLANNING DEPARTMENT - 6/12/2019



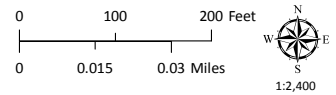
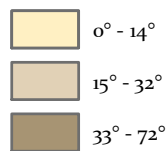
CASE: CDP 2019-0022
 OWNER: STEZ, Nickolai
 APN: 142-190-27
 APLCT: Bob Hartstock
 AGENT: Bob Hartstock
 ADDRESS: 44035 Iversen Road, Gualala

- 
 Critical Water Areas
- 
 Critical Water Resources Bedrock

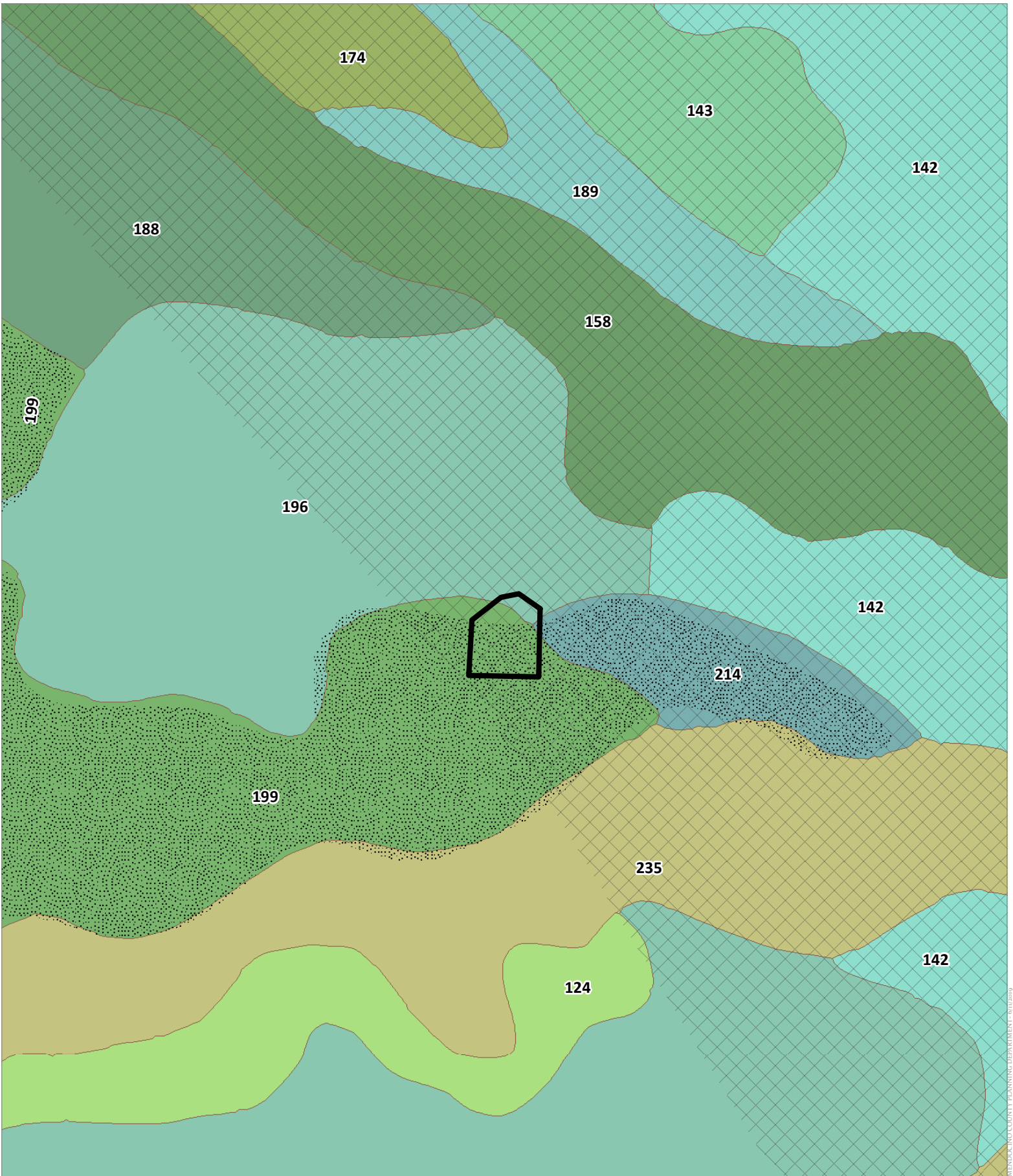







CASE: CDP 2019-0022
OWNER: STEZ, Nikolai
APN: 142-190-27
APLCT: Bob Hartstock
AGENT: Bob Hartstock
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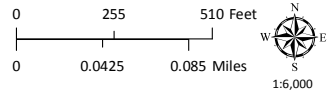


ESTIMATED SLOPE
ATTACHMENT U



CASE: CDP 2019-0022
 OWNER: STEZ, Nikolai
 APN: 142-190-27
 APLCT: Bob Hartstock
 AGENT: Bob Hartstock
 ADDRESS: 44035 Iversen Road, Gualala

-  Shinglemill-Gibney Complex
-  Bishop Pine
-  Western Study Soil Types



SOIL CLASSIFICATIONS
ATTACHMENT V

MENDOCINO COUNTY PLANNING DEPARTMENT - 07/20/2019