



- A. SEWER - CITY OF UKIAH
- B. STORM DRAINAGE - CITY OF UKIAH
- C. WATER - WILLOW COUNTY WATER DISTRICT
- D. GAS & ELECTRIC - P.G. & E.
- E. TELEPHONE - A.T. & T.
- F. CABLE T.V. - COMCAST

	SUBDIVISION BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT TO BE ABANDONED
	EXISTING GROUND CONTOUR (1" INTERVAL)
	EXISTING GROUND CONTOUR (5" INTERVAL)
	PROPOSED WATER MAIN
	PROPOSED WATER SERVICE
	PROPOSED JOINT TRENCH
	PROPOSED FIRE HYDRANT
	PROPOSED SANITARY SEWER MAIN
	PROPOSED SANITARY SEWER LATERAL
	PROPOSED REAR LOT DRAINAGE (SWALE OR PIPE)
	PROPOSED CURB INLET
	PROPOSED CATCH BASIN
	PROPOSED MANHOLE
	PROPOSED SANITARY SEWER CLEANOUT
	EXISTING WATER MAIN
	EXISTING SANITARY SEWER MAIN
	EXISTING STORM DRAIN PIPE
	BELOW MARKET RATE SURFACE
	PROPOSED DIRECTION OF SURFACE FLOW

1. COVER SHEET
2. EXISTING CONDITIONS
3. PARCEL LAYOUT
4. UTILITY LAYOUT

 **RAR**
ROLLS ANDERSON & ROLLS
CIVIL ENGINEERS
115 YELLOWSTONE DRIVE • CHICO, CALIFORNIA 95973-5811
TELEPHONE 530-895-1422

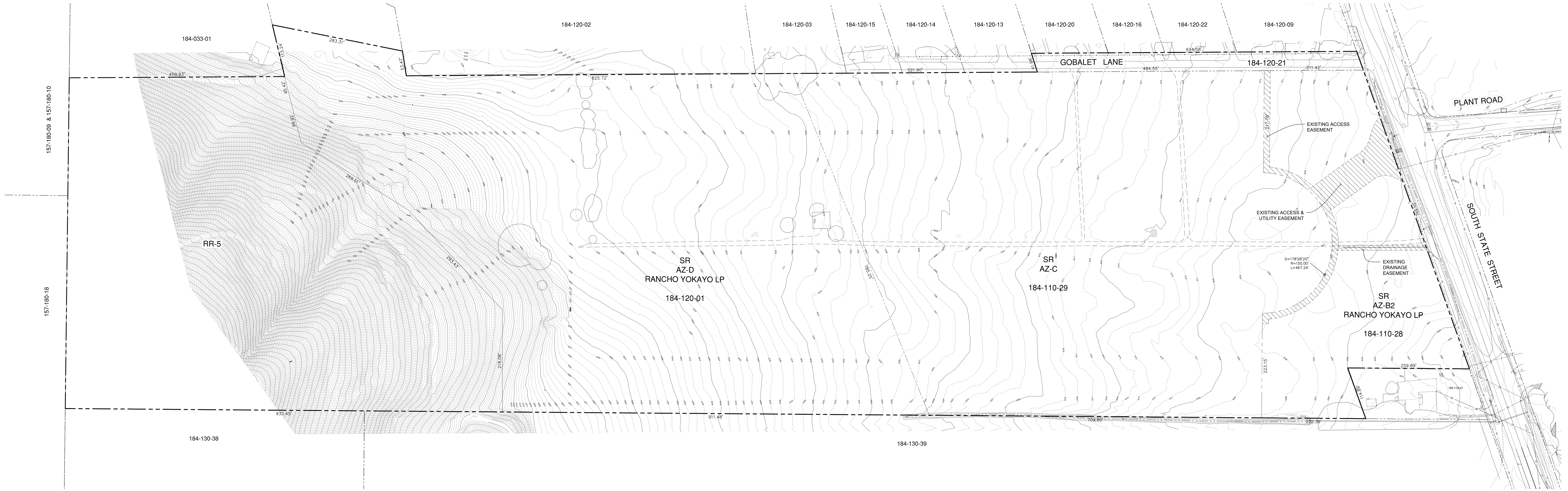
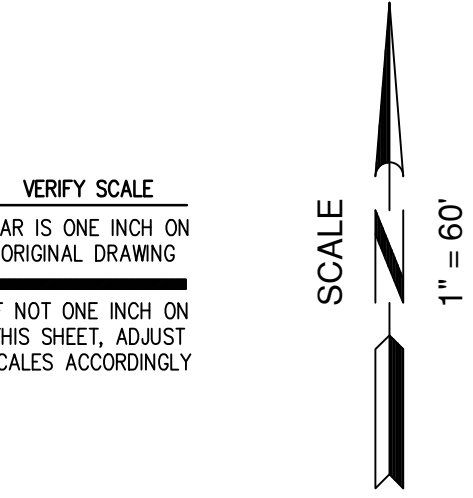
MARCH, 2025

24074

SHEET 1 OF 4

PRELIMINARY

1. THIS AMENDED VESTING TENTATIVE SUBDIVISION MAP IS MEANT TO SUPPLEMENT THE ORIGINAL APPROVED AMENDED VESTING TENTATIVE MAP (S 2020-0001) THAT WAS APPROVED BY THE MENDOCINO BOARD OF SUPERVISORS ON 4-11-23.



LEGEND

	SUBDIVISION BOUNDARY
	EXISTING PROPERTY LINE
	EXISTING EASEMENT TO BE ABANDONED
	EXISTING GROUND CONTOUR (1' INTERVAL)
	EXISTING GROUND CONTOUR (5' INTERVAL)

AMENDED VESTING TENTATIVE MAP
EXISTING CONDITIONS

BELLA VISTA ESTATES

PRELIMINARY

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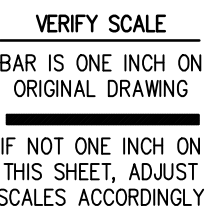
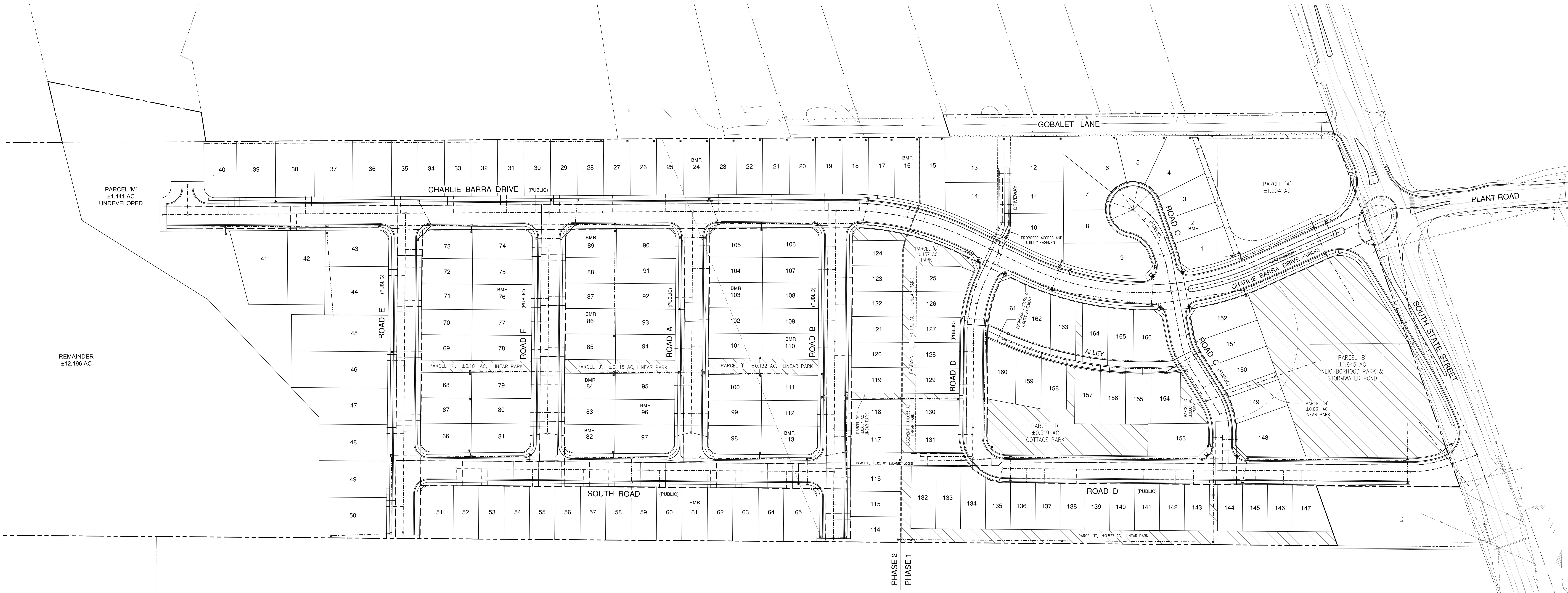


EXHIBIT A - Page 3 of 4

VERIFY SCALE
BAR IS ONE INCH ON
ORIGINAL DRAWING
IF NOT ONE INCH ON
THIS SHEET, ADJUST
SCALES ACCORDINGLY

SCALE
1" = 50'



- LEGEND
- PROPOSED WATER MAIN
 - PROPOSED WATER SERVICE
 - PROPOSED JOINT TRENCH
 - PROPOSED FIRE HYDRANT
 - PROPOSED SANITARY SEWER MAIN
 - PROPOSED SANITARY SEWER LATERAL
 - PROPOSED STORM DRAIN PIPE
 - PROPOSED REAR LOT DRAINAGE (SWALE OR PIPE)
 - PROPOSED CURB INLET
 - PROPOSED CATCH BASIN
 - PROPOSED MANHOLE
 - PROPOSED SANITARY SEWER CLEANOUT
 - EXISTING WATER MAIN
 - EXISTING SANITARY SEWER MAIN
 - EXISTING STORM DRAIN PIPE

AMENDED VESTING TENTATIVE MAP
UTILITIES LAYOUT

BELLA VISTA ESTATES

PRELIMINARY

RAR
ROLLS ANDERSON & ROLLS
CIVIL ENGINEERS
115 YELLOWSTONE DRIVE - CHICO, CALIFORNIA 95973-5811
TELEPHONE 530-895-1422

Revised: December 3, 2025

Bella Vista

Inclusionary Housing Plan

PROPOSAL:

Mendocino County Code requires all residential projects that create two or more residential lots at the subdivision level to be subject to an Inclusionary Housing Ordinance (Mendocino County Code §20.238.). Residential projects that voluntarily comply with State Density Bonus laws are exempted from Mendocino County's Inclusionary Housing Requirements (Mendocino County Code §20.238.010 (B)).

In this instance, the Bella Vista subdivision utilizes State Density Bonus law by incorporating 42 residential lots that are specifically designated as accessible housing for senior citizens/age-restricted. The proposal also includes a commitment that 10 percent of the balance of the subdivision (non-senior lots), will be restricted to for-sale units for qualifying moderate-income households.

Notably, it is the developer's commitment to building these units that makes a developer eligible for a density bonus and design concessions from the County; the developer is not required to build more units than is allowed by the zoning district. (Gov. Code, §65915(f).) The developer is also seeking a reduction in development standards, as part of its density bonus. The request for a reduction in development standards is similar to that which was granted for previously approved project; 1) reduced minimum lot size, 2) reduced or eliminated setbacks, 3) permit double frontage lots, 4) permit flag lots, and 5) permit access easements.

Senior Housing

Under State law, a "senior citizen housing" development is restricted to qualifying residents who are 55 years of age or older in a senior citizen housing development that contains at least 35 residential units. The proposed age-restricted lots in the Bella Vista subdivision will be reserved for qualifying buyers who meet the requirements of §51.3 and § 1.12 of the California Civil Code.

Moderate Income Housing

The balance of the subdivision (i.e., the non-age restricted portion), will have a total of 10 percent of the housing units dedicated to buyers who initial qualify as a designated moderate-income household (Gov. Code, §65915(c)(2)).

Upon resale of the moderate-income homes, the seller of the unit shall retain the value of any improvements, the down payment and the seller's proportionate share of appreciation and the County shall participate in equity sharing as outlined in the Government Code (Gov. Code §65915(c)(2)). The developer is not seeking any financial incentives, fee waivers, reductions in dedications requirements and no public funds are being used to construct the moderate-income units, therefore no additional equity sharing or other regulations apply.

Cottage Details

As noted in the Mendocino County Housing Element Update (2019-2027), the senior population of the County (in this case noted as 65 or older) represents 20 percent of the County's population or 17,221 persons. Of that, 84 percent of the senior households in the unincorporated County own

their home, while 16 percent are renters. In addition, 3,025 seniors, or approximately 63 percent, live alone in the unincorporated portions of the County.

Senior households may have special housing needs due to fixed or limited incomes, increased health care cost, or physical limitations. Many seniors have limited funds for housing, housing repairs or modifications, or assistance for everyday living. As noted in the Housing Element, because some seniors require proximity to health care or supportive services, priority should be given to housing opportunities in more urbanized areas.

One goal of the Cottages is to cater to this growing demographic that consists of adults that are nearing or at retirement age. Although some individuals remain in their homes throughout retirement, this demographic group is more inclined to “trade down” to smaller homes. Trading down has the effect of creating housing opportunities for younger generations

This type of cottage neighborhood creates a setting in which watchfulness is increased and neighbors are on a first-name basis. Residents take part in a higher level of care and oversight of the grounds and each other, thereby enhancing the sense of security, identity and wellbeing. Because of the shared space and the daily flow of life through the site, nearby neighbors who offer ‘nodding hellos’, or stop to chat on the porch. These casual conversations can eventually grow to caring relationship and a meaningful sense of community, fostering a high quality of life.

The Cottages at Bella Vista will accommodate a variety of lot sizes and contain vehicle, pedestrian and landscape easements, rather than common interest areas. The homes themselves will range from 900 square feet to approximately 1,400 square feet. They will be single story and a maximum of 22' in height. Homes are designed to allow individuals to age in place, with such subtle details as zero thresholds and wider hallways as well as accessible bathrooms, door hardware, etc.

The homes will be placed on their respective lots in a manner to allow all lots access to shared open areas and internal walkways. Parking will be provided on each lot, as well as within the roadway easement. The design of the cottages will make them feel and look like part of the overall project, while also providing for a separate livable community.

The senior housing site itself will be secured, with individual homes around the perimeter of the site and fencing in between them. The site will also feature a vehicle access with the main entrance off of Charlie Barra Road (north entrance) to provide access to residents, service vehicles and guests.

The private outdoor areas will be extended just beyond the footprint of the individual homes. These areas will be secured with a small fence and will be large enough to accommodate a private porch. This private area will accommodate individual personal desires, such as an area for a dog or outdoor furniture. Private outdoor areas will be maintained by the individual homeowner.

The shared areas will consist of pedestrian path that runs in an east-west direction, connecting the senior neighborhood to the pedestrian path that is located within the greater Bella Vista project. This path will also connect to the Cottage Park within the senior neighborhood, as well as Neighborhood Park that abuts the senior neighborhood on its eastern border.

Cottage Park will include a pavilion with features designed to encourage socializing among the residents of the senior neighborhood. The pavilion will contain, at minimum, an approximately 300 square feet of solid roof area and with flat work (pavement) extending out for an additional 250 square feet.¹ This extension would allow for the pavilion to have both shaded and unshaded active use area to host events and gatherings. The pavilion area will be connected to other improvements within Cottage Park through pedestrian pathways, further expanding the connectivity and usability of the area, beyond the immediate footprint of the pavilion.

The space within the pavilion will, at minimum, have an outdoor ceiling fan, an electric space heater, and lights-all of which will be on timers. Improvements to this space will include columns that are enhanced with stone wainscoting, seating areas incorporated into one side of the perimeter, and a version of privacy slats or wall will be incorporated on another side. A countertop installed on one side of the perimeter will feature a grill. Outdoor furniture will also be present, but not affixed to the ground so that users may move and organize the furniture to accommodate their specific needs. The pavilion will contain partitioned walls, allowing the structure to be opened or closed depending on the users' preference.

The shared spaces will be maintained by the Homeowners Association through a third-party landscape company to ensure plant life survivability, consistency of maintenance and aesthetics preservation.

Moderate Income Housing Details

The moderate-income homes will be built in Phase 2 as the senior housing units will be constructed within Phase 1. The location of the moderate-income lots will be identified on the Subsequent Final Map for each phase and the residential design and landscaping for the moderate-income units will be established on the Master Building Design Plan and Landscape Plan to be submitted in conjunction with each Subsequent Final Map.

The design of the moderate-income homes will be the same as those elsewhere within the non-age-restricted portion of the project, with street appearance, exterior finishes and structure size mirroring those found within the overall project.

Project Detail	Gardens Gate – As Approved	Bella Vista – As Modified
Number of Total Lots	197	166
Number of Gross Acres	46 Acres	48.8 Acres
Total Density	4.3 Units Per Acre	4.72 Units Per Acre
Smallest Lot	775 Square Feet	3,110 +/- Square Feet

¹ Note: A condition of approval for the Amended Tentative Map requires that: "The Subdivision Improvement Plans for the Senior Neighborhood shall include a covered pavilion within the Cottage Park that is a minimum of 630 square feet in size and includes an outdoor ceiling fan, electric space heater(s), lighting and a counter with a grill. Moveable partitions shall be provided so that the pavilion can be enclosed in inclement weather."

Largest Lot	20,104 square Feet	11,761 Square Feet
Parkland Dedication	2.31 Acres	3.85 Acres
Private Common Area	0 Acres	0.519 Acres
Total Open Space Areas	2.31 Acres	3.85 Acres
Parkland Improvements	Baseball/Soccer Field Picnic Tables Play Structure Walking Path Trees and Landscaping	Youth Sports Field Picnic Tables Play Structure Walking Path Trees and Landscaping
Access Points from South State Street	2	2
Future Connectivity to the South	5	2
Compliance with IHO	State Density Bonus Law	State Density Bonus Law
Type of SDBL Housing Units	36 Moderate Income Units	42 Age Restricted Units and 10% of traditional lots dedicated to Moderate Income buyers.
Overall Housing Dedicated to SDBL Compliance	18 Percent	30 Percent
Reduction in Development Standards:	1. Reduced minimum lot sizes. 2. Reduced or eliminate setbacks. 3. Permit double frontage lots. 4. Permit Flag lots.	1. Reduced minimum lot sizes. 2. Reduced or eliminate setbacks. 3. Permit double frontage lots 4. Permit Flag lots 5. Permit Access Easements 6. Modify standards for fencing on street frontages

General Plan and Ukiah Valley Area Plan

The Housing Element of the Mendocino County General Plan calls for the development of housing, including Policies and Actions that are specific to seniors:

POLICY 3.1 Encourage the development of an adequate supply of housing and range of housing densities and types to meet the diverse needs of County residents.

- Action 3.1a Work with developers to include a variety of housing types, such as smaller single-family homes, second units, duplexes, and multi-family units, including rental units for lower-income large families and developments exceeding ten residential units, during pre-subdivision consultation and through the Inclusionary Housing development planning process. Consider development incentives such as reduced setbacks, density bonuses, fee assistance, etc.
- Action 3.1b Evaluate the potential for reduced lot sizes or increased residential densities on land classified Rural Community, Mixed Use, Suburban Residential, and Commercial.

- Action 3.5c Provide priority processing by County staff and hearing boards for affordable housing units or special needs housing or supporting infrastructure.

POLICY 4.3 Encourage a range of housing types to address the housing needs of the County's special needs populations, such as seniors, single-parent families, large families, individuals with disabilities, the homeless, Native Americans, and farmworkers.

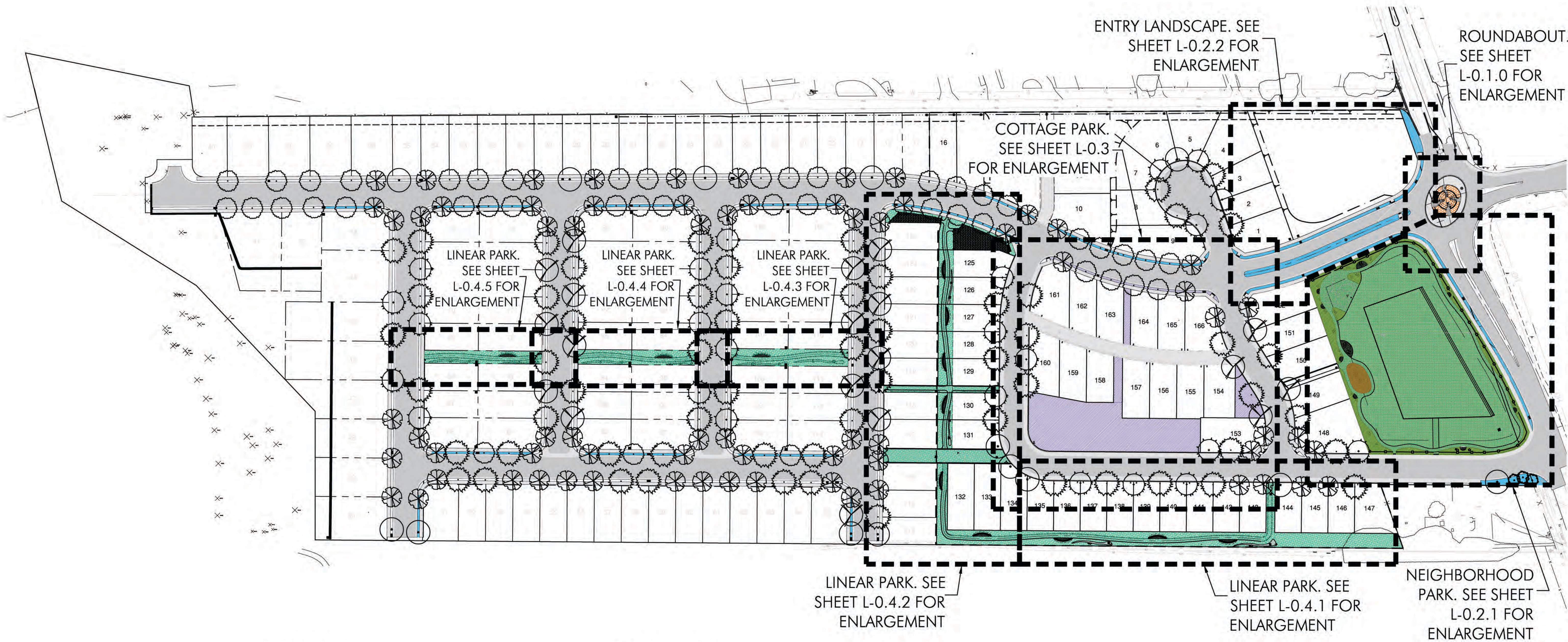
- Action 4.3: Recognize that the County's aging population will require affordable housing in areas that have access to senior citizen appropriate services. Remote rural communities cannot presently provide adequate services to meet the special needs of senior citizens.

The Ukiah Valley Area Plan calls for the development of housing, including the following Goals and Policies that are specific to seniors:

Goal LU.1: Create compact, mixed-use, and well-balanced communities that can achieve this plan's principles of sustainability.

- Policy: LU 1.1: Promote development and building practices that support healthy communities.
- Policy LU1.3: Promote suitable located housing and services for a range of ages and incomes within the Ukiah Valley.
- Policy LU 1.3d: Diversified Neighborhoods. Encourage the development of well-integrated neighborhoods of single-family and multi-family homes that include owner-occupied and rental housing units in single use and mixed-use environments, with a range of densities and affordability levels.
- Policy LU 1.3e: Residential Areas. Allow residential development in a variety of locations that offer a range of housing densities and housing types.

File Name: \\Bdserver\c\30g\BFLA (2400-2499)\2431 Bella Vista Ukiah- Prelim\2431 CAD\2431 Prelim\6-27-25.dwg



NOTES

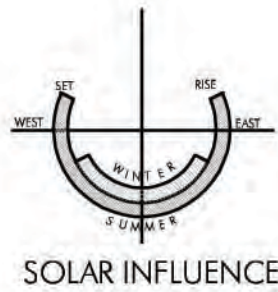
1. ALL TREES DEPICTED ON THIS PLAN SHEET ARE REQUIRED STREET TREES AND AS SUCH ARE SUBJECT TO THE CONDITIONS SET FORTH IN DIV. 6, CH. 5, ART. 2 OF THE CITY OF UKIAH MUNICIPAL CODE AND THE CITY OF UKIAH TREE MANAGEMENT GUIDELINES.
2. ALL STREET TREES SHALL BE INSTALLED WITH ROOT BARRIER TO PREVENT DAMAGE TO ADJACENT HARDSCAPE.
3. ALL STREET TREES IN THE PARKWAY STRIPS IN FRONT OF HOMES SHALL BE IRRIGATED BY THE AUTOMATIC IRRIGATION SYSTEMS OF THE ADJACENT HOMES.
4. SEE ENLARGEMENTS FOR ADDITIONAL PROPOSED TREE PLANTINGS.

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	CARPINUS BETULUS EUROPEAN HORNBEAM	MED	15 GAL.	44	STANDARD FORM. SEE DETAIL1 SHEET SHEET L-0.0.1
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	14	STANDARD FORM. SEE DETAIL LS-1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	19	STANDARD FORM. SEE DETAIL LS-1, SHEET L-0.0.1
	CELTIS OCCIDENTALIS AMERICAN HACKBERRY	LOW	15 GAL.	60	STANDARD FORM. SEE DETAIL LS-1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	70	STANDARD FORM. SEE DETAIL LS-1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA GINKGO TREE (FRUITLESS)	LOW	15 GAL.	25	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL LS-1, SHEET L-0.0.1

NOTE

SEE SHEET L-0.0.1 FOR
PLANTING DETAILS,
NOTES, AND
SPECIFICATIONS.



NO SCALE



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TWO WORKING DAYS BEFORE YOU DIG

EXHIBIT C

BISHO FIRTH
LANDSCAPE
ARCHITECTS, INC.
427 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLAdesign.com
www.facebook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT
GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION

SHEET TITLE
PRELIMINARY
LANDSCAPE
REFERENCE SHEET/
STREET TREE PLAN

DATES	DESCRIPTION	DATE
NO.	NO.	NO.
--	PRELIM	5-8-25
--	REV PRELIM	6-18-25

Plot Date: June 27, 2025 - 3:32 pm

PROJECT NUMBERS
BFLA PROJECT #: 2431
RAR PROJECT #: 24074

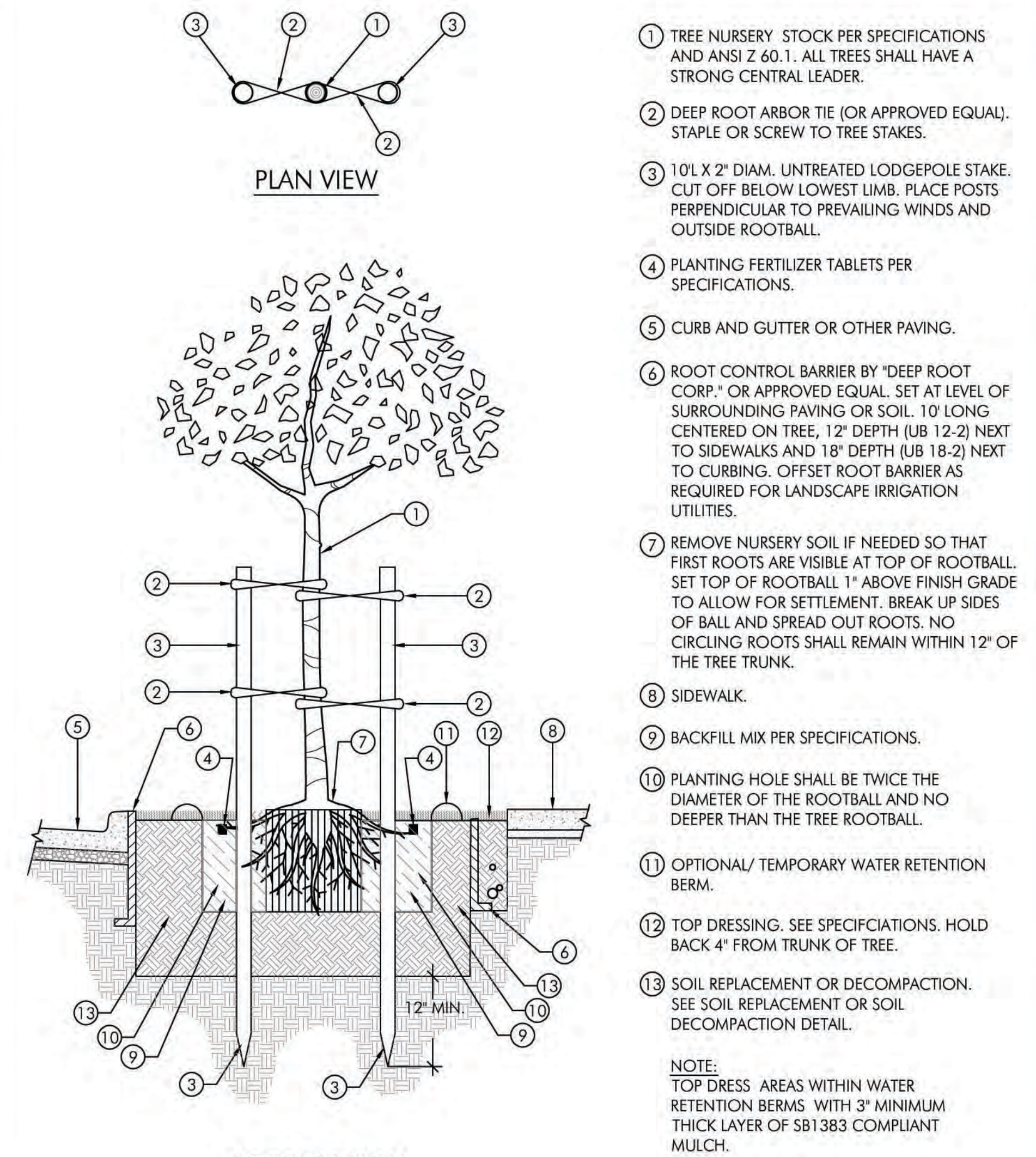
SHEET NUMBER

L-0.0.0

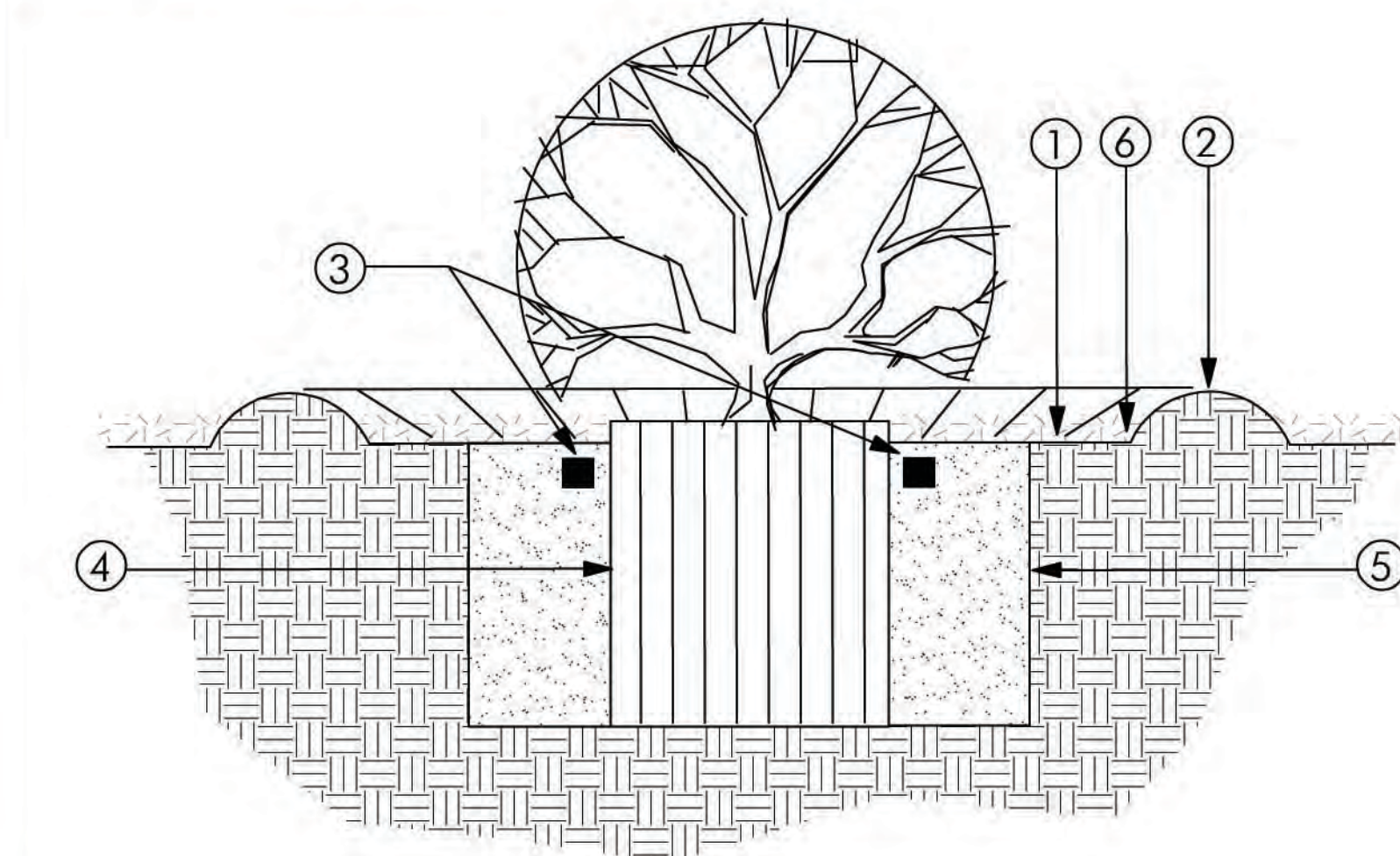
THE SOIL ANALYSIS REPORT SHALL BE MADE AVAILABLE, IN A TIMELY MANNER, TO THE PROFESSIONALS PREPARING THE LANDSCAPE DESIGN PLANS AND IRRIGATION DESIGN PLANS TO MAKE ANY NECESSARY ADJUSTMENTS TO THE DESIGN PLANS.
THE PROJECT APPLICANT, OR HIS/HER DESIGNEE, SHALL SUBMIT DOCUMENTATION VERIFYING IMPLEMENTATION OF SOIL ANALYSIS REPORT RECOMMENDATIONS TO THE LOCAL AGENCY WITH CERTIFICATE OF COMPLETION.

1. VERIFY EXACT LOCATION OF ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
2. PLANT QUANTITIES ARE FOR CONVENIENCE OF THE CONTRACTOR. CONTRACTOR TO CONFIRM EXACT NUMBER.
3. PLANT MATERIALS SHALL BE BID ON THE BASIS OF SPECIES AND CONTAINER SIZE, NOT ON CONTAINER SIZE ALONE.
4. SUBMIT SAMPLES AND SOURCE(S) FOR REVIEW BY PROJECT LANDSCAPE ARCHITECT BEFORE PURCHASING AND DELIVERY TO THE JOB SITE.
5. TOP DRESS ALL LANDSCAPED AREAS WITH 3" MINIMUM THICK LAYER OF SB1383 COMPLIANT MULCH EXCEPT AS OTHERWISE INDICATED ON THE PLANS (DO NOT APPLY MULCH TO TURF, COBBLE, OR GRAVEL/ LAVA ROCK AREAS). SUBMIT REPRESENTATIVE SAMPLES OR EACH TOP DRESSING FOR REVIEW AND APPROVAL PRIOR TO DELIVERY TO PROJECT SITE.
6. MULCH AND COMPOST SHALL BE CALIFORNIA SB 1383 COMPLIANT. THE CONTRACTOR IS TO TRACK AND REPORT TOTAL CUBIC YARDS OF COMPLIANT PRODUCT(S) USED AND INCLUDE REPORT WITH FINAL SUBMITTALS TO THE CITY.
7. LANDSCAPE CONTRACTOR IS RESPONSIBLE TO COORDINATE WORK WITH THAT OF OTHER TRADES.
8. REFER TO PLANS, DETAILS, AND SPECIFICATIONS FOR ADDITIONAL INFORMATION.

1. GENERAL	- CONTRACTOR SHALL BID AND INSTALL LANDSCAPE PER THESE PLANS AND SPECIFICATIONS, UNLESS GIVEN FURTHER WRITTEN INSTRUCTIONS OR REVISED PLANS PER OWNER OR LANDSCAPE ARCHITECT. WORK INCLUDES BUT IS NOT LIMITED TO ALL LABOR, EQUIPMENT, AND MATERIALS NECESSARY TO COMPLETE THE WORK.
2. PLANT MATERIAL	- ALL PLANT MATERIAL SHALL BE OF THE SPECIES, VARIETY, SIZE AND CONDITION SPECIFIED ON THE PLANS. ALL PLANT MATERIAL SHALL BE HEALTHY, FREE OF DISEASE AND PESTS, AND NOT ROOT BOUND. ALL PLANT MATERIAL SHALL CONFORM TO AMERICAN NURSERY STANDARDS ANSI Z60.1-1990. ALL PLANT MATERIAL SHALL BE SUBJECT TO THE APPROVAL OF THE PROJECT REPRESENTATIVE. IN THE EVENT THAT ANY PLANT MATERIAL IS REJECTED IT SHALL BE REMOVED FROM SITE AND REPLACED WITH SUITABLE PLANT MATERIAL. WHERE PLANTING SPACINGS ARE INDICATED ON THE PLAN THE CONTRACTOR WILL BE REQUIRED TO PROVIDE AS MANY PLANTS ON THE PLAN AS ARE REQUIRED BY THE SPACING INDICATED ON THE PLANS. CONTRACTOR TO VERIFY ALL PLANT QUANTITIES.
3. FINISH GRADING	- ELIMINATE ALL UNEVEN AREAS AND LOW SPOTS. REMOVE ALL DEBRIS, ROOTS, STONES, SOIL CLOUDS, ETC. REMOVE ANY SOIL CONTAMINATED BY BUILDING CONSTRUCTION DEBRIS SUCH AS PAINT, CONCRETE, STUCCO, ETC. THE FINISH GRADE OF ALL SHRUB AND GROUND COVER AREAS SHALL BE 3-1/2 INCHES BELOW ADJACENT WALKS, CURBS, HARDSCAPE. ALL TURF AREAS SHALL BE 1 INCH BELOW. MAINTAIN ENGINEER'S DESIGNED GRADES AND EXTENTS OF MOUNDING. IF DURING THE COURSE OF LANDSCAPE CONSTRUCTION THE ROUGH GRADE DESIGNED AND ESTABLISHED BY OTHERS IS DISTURBED, IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR TO REESTABLISH THIS GRADE PER INTENT OF CIVIL ENGINEER. REFER TO CIVIL ENGINEER'S PLANS.
4. PLANTING	- PLANT HOLES SHALL BE EXCAVATED TO DIMENSIONS SHOWN ON PLAN. PLACE PLANT IN CENTER OF HOLE AND SLIGHTLY ABOVE FINISH GRADE. BACKFILL PLANT WITH ONE PART 0 TO 1/4 INCH FIR BARK MULCH, THREE PARTS NATIVE SOIL, SINGLE SUPERPHOSPHATE, GROW POWER AND AGRIFORM FERTILIZER TABLETS ALL AS PER MANUFACTURER'S RECOMMENDATIONS. WATER THOROUGHLY TO SETTLE BACKFILL AROUND SOIL BALL. ALL HEDGEROW PLANTINGS SHALL BE PLANTED IN A STRAIGHT ROW. GROUND COVERS SHALL BE PLANTED BASED ON TRIANGULAR SPACING UNLESS OTHERWISE SHOWN ON PLAN. STAKE ALL STANDARD TREES AS PER DETAIL WITH 3 INCH DIAMETER POLES (WHERE APPLICABLE).
5. TURF SODDING	- AFTER ESTABLISHING FINISH GRADE, ROLL TURF AREAS WITH A 200 POUND ROLLER IN MINIMUM TWO DIRECTIONS, SPREAD 4 POUNDS PER 1,000 SQUARE FEET TURF FERTILIZER, (16-6-8) AND LAY SOD WITH TIGHT JOINTS.
5. POST PLANTING WEED CONTROL	- THE CONTRACTOR SHALL APPLY PRE-EMERGENT FERTILIZER TO ALL SHRUB AND GROUND COVER AREAS WITHIN 4 DAYS AFTER COMPLETION OF PLANTING OF GIVEN AREA AND PRIOR TO THE PLACEMENT OF MULCH TOP DRESSING, THE PLANTING AREAS SHALL BE FREE FROM EXISTING WEED GROWTH. APPLY AS PER MANUFACTURER'S RECOMMENDATIONS.
6. TOP DRESSING	- APPLY A UNIFORM 3 INCH LAYER OF 3/4" SHASTA MIX LAVA ROCK TO ALL SHRUB AND GROUND COVER AREAS (PROVIDE ALTERNATE BID FOR A 3" LAYER OF 1"-1-12/" WALK-ON BARK MULCH). ALLOW FOR SETTLING. PROVIDE REPRESENTATIVE SAMPLE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO DELIVERY OR INSTALLATION.
7. CLEAN-UP	- AFTER ALL PLANTING OPERATIONS HAVE BEEN COMPLETED REMOVE ALL TRASH, EXCESS SOIL AND RUBBISH FROM SITE. THE CONTRACTOR SHALL LEAVE THE SITE BROOM CLEAN AND SHALL WASH DOWN ALL PAVED AREAS LEAVING THE SITE IN A CLEAN CONDITION ACCEPTABLE TO THE OWNER.
8. PLANT GUARANTEE	- THE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF 120 DAYS COMMENCING FROM PROJECT COMPLETION. ALL PLANTS THAT DIE OR ARE IN A DECLINING CONDITION SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER. ALL PLANT REPLACEMENTS SHALL BE MADE WITHIN 15 DAYS OF WRITTEN NOTIFICATION. PROVIDE 60 DAY MAINTENANCE PERIOD AT OPTION OF THE OWNER.



TREE PLANTING DETAIL

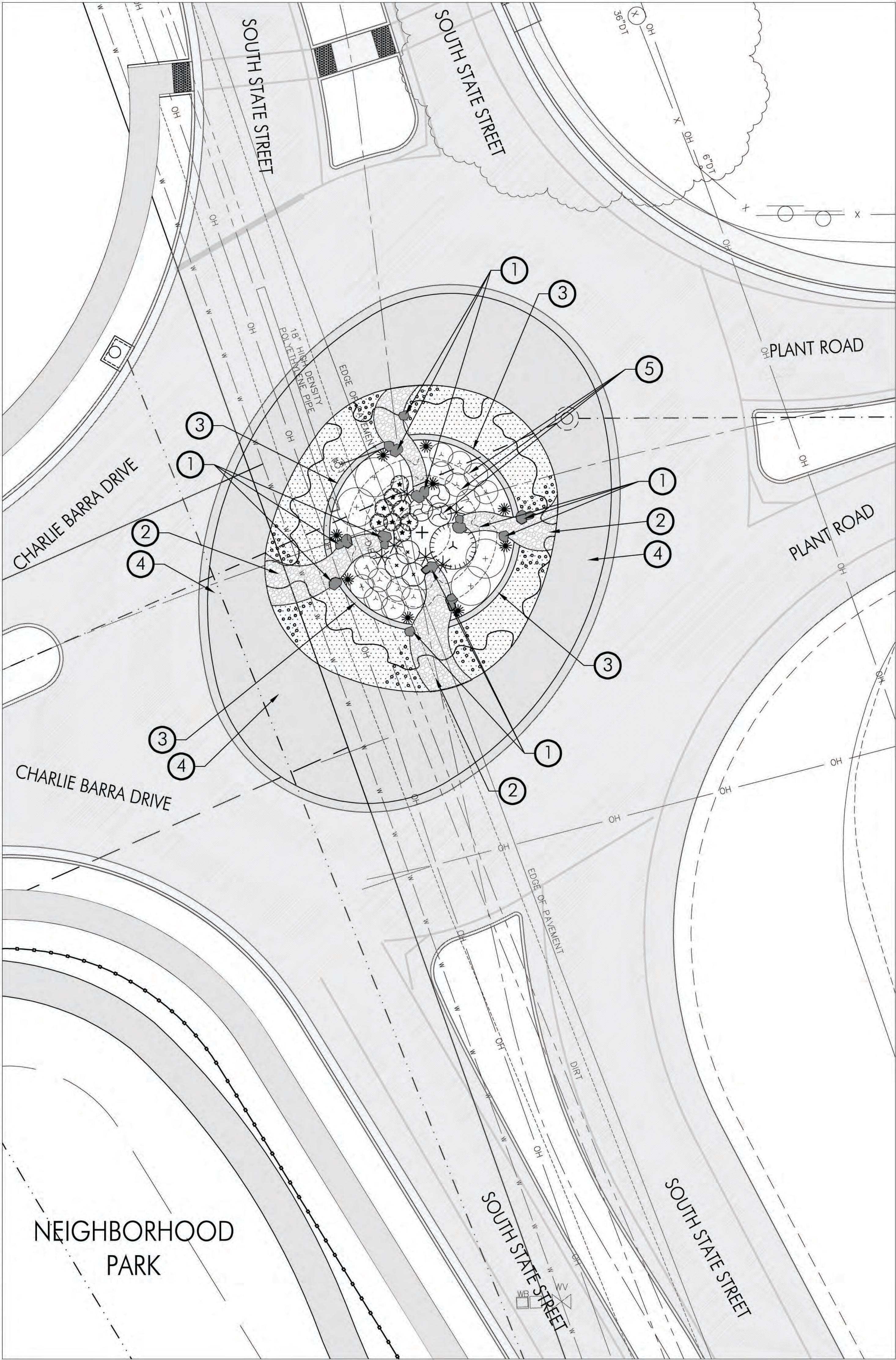


- ① TOP DRESSING, AS PER SPECIFICATIONS
- ② WATER RETENTION BERM, PROVIDE POSITIVE DRAINAGE AWAY FROM ROOTBALL
- ③ FERTILIZER TABLETS, AS PER SPECIFICATIONS
- ④ ROOT BALL, SET CROWN 1" ABOVE GRADE
- ⑤ PLANTING PIT TO BE TWICE THE DIAMETER OF ROOTBALL. REFER TO SPECIFICATIONS FOR BACKFILL MIX
- ⑥ FINISH GROUND COVER GRADE

NOTE:
TOP DRESS AREAS WITHIN WATER RETENTION BERMS WITH 3"
MINIMUM THICK LAYER OF SB1383 COMPLIANT MULCH.

SHRUB PLANTING

File Name: \\Bfservice\c\30g\BFLA (2400-2499)\2431.2 Bella Vista Ukiah- Roundabout\2431.2 CAD\2431.2 Master Plan\2431.2 Prelim 6-27-25.dwg



TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	QUERCUS SUBER CORK OAK	LOW	15 GAL.	1	SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	3	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	3	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	8	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	1	SEE DETAIL 2, SHEET L-0.0.1
ORNAMENTAL GRASSES					
	CALAMAGROSTIS ACUTIFOLIA 'KARL FOERSTER' KARL FOERSTER FEATHERED REED GRASS	LOW	1 GAL.	6	SEE DETAIL 2, SHEET L-0.0.1
	PENNISETUM ALOPECUROIDES 'LITTLE BUNNY' DWARF FOUNTAIN GRASS	LOW	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
GROUNDCOVER					
	ARCTOSTAPHYLOS UVA URSI 'WOODS COMPACT' WOOD'S COMPACT BEARBERRY	LOW	1 GAL.	4	SEE DETAIL 2, SHEET L-0.0.1
	JUNIPERUS CONFERTA 'BLUE CARPET' BLUE CARPET SHORE JUNIPER	LOW	1 GAL.	14	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	'NO MOW' FINE FESCUE BLEND CONTACT PACIFIC SOD: 800-692-8690	MED	SOD	936 SF	PLANT PER SOD SPECIFICATIONS
BULBS					
	DAFFODIL	NA-	BULB	105	

PLAN LEGEND

SYMBOL	DESCRIPTION
	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER.
	LOCALLY SOURCED 6"- 8" DIAMETER SMOOTH RIVER COBBLE.
	CONCRETE MOWBAND
	CONCRETE TRUCK APRON. SHOWN FOR REFERENCE ONLY. SEE PLANS BY OTHERS.
	MOUNDING. EACH CONTOUR LINE REPRESENTS A ONE FOOT GAIN IN ELEVATION.

EXHIBIT C



LICENSE



CONSULTANT

CLIENT
GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
ROUNDAABOUT

SHEET TITLE
PRELIMINARY
PLANTING
PLAN

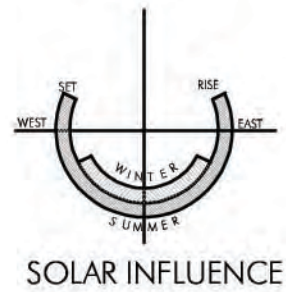
DATES	DESCRIPTION	DATE
NO.	PRELIM	5-8-25
--	REV PRELIM	6-18-25

Plot Date: June 27, 2025 - 3:49 pm

PROJECT NUMBERS
BFLA PROJECT #: 2431.2
RAR PROJECT #: 24074

SHEET NUMBER

L-0.1.0



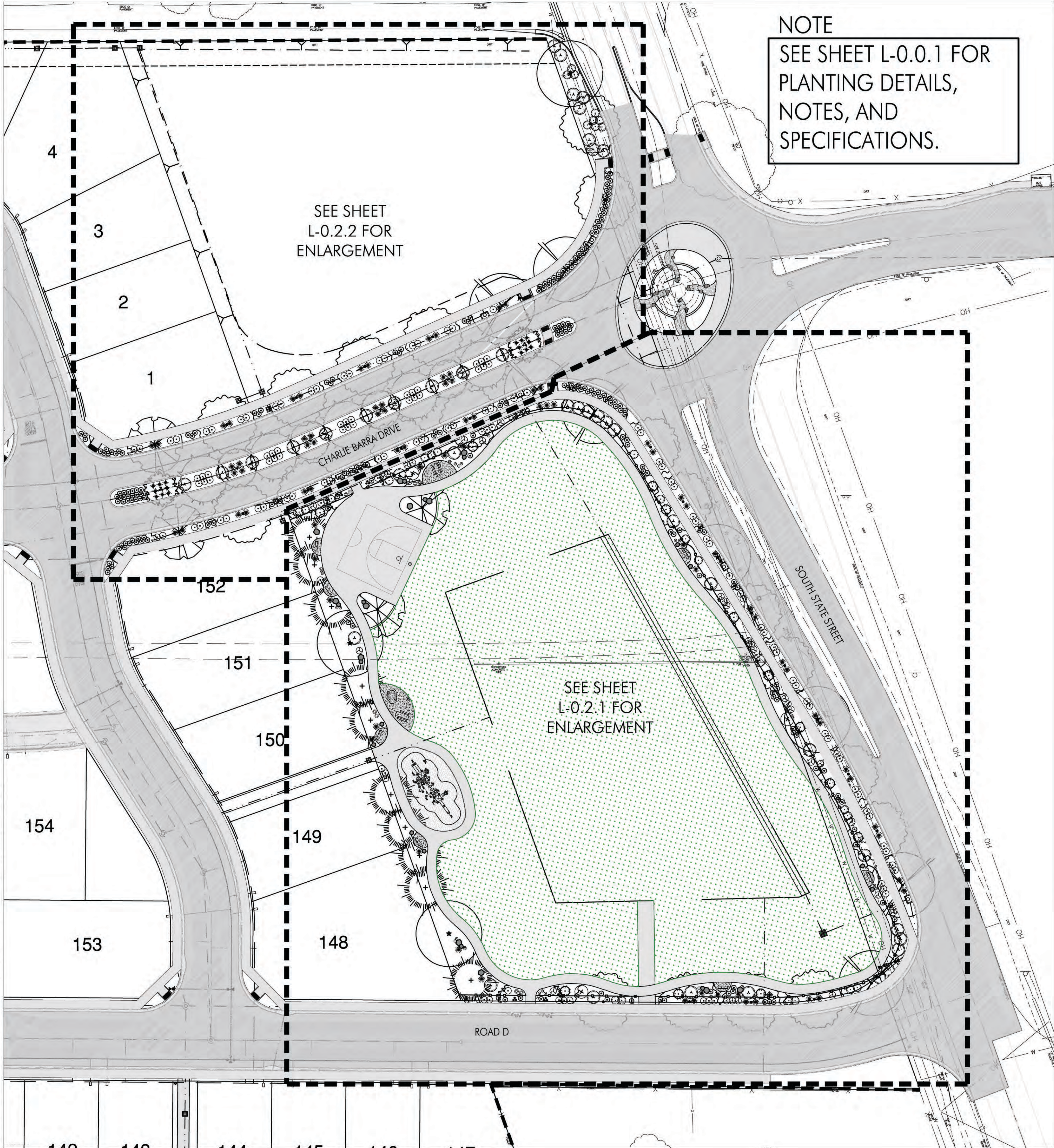
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NOTE
SEE SHEET L-0.0.1 FOR
PLANTING DETAILS,
NOTES, AND
SPECIFICATIONS.

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	CARPINUS BETULUS EUROPEAN HORNBEAM	LOW	15 GAL.	20	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	5	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	10	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA GINKGO TREE (FRUITLESS)	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	85	SEE DETAIL 2, SHEET L-0.0.1
	RHAMPHIOLEPIS UMBELLATA 'MINOR' YEDDA HAWTHORN	LOW	5 GAL.	132	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	26	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOAE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	216	SEE DETAIL 2, SHEET L-0.0.1
	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	41	SEE DETAIL 2, SHEET L-0.0.1
	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	20	SEE DETAIL 2, SHEET L-0.0.1
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	12	SEE DETAIL 2, SHEET L-0.0.1
	CHAENOMELES FLOWERING QUINCE	MED	5 GAL.	3	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	16	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	63,911 SF	PLANT PER SOD SPECIFICATIONS
SYMBOL					
	88	PLANT QUANTITY			
	S-88	PLANT TYPE			

EXHIBIT C



LICENSE



CONSULTANT

CLIENT

GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
NEIGHBORHOOD
PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES

NO.	DESCRIPTION	DATE
--	PRELIM	5-8-25
--	REV PRELIM	6-18-25

Plot Date: June 27, 2025 - 3:33 pm

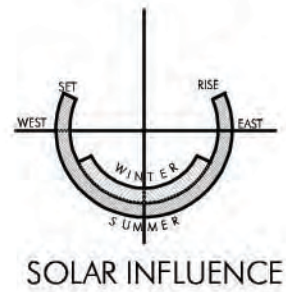
PROJECT NUMBERS

BFLA PROJECT #: 2431.1

RAR PROJECT #: 24074

SHEET NUMBER

L-0.2.0

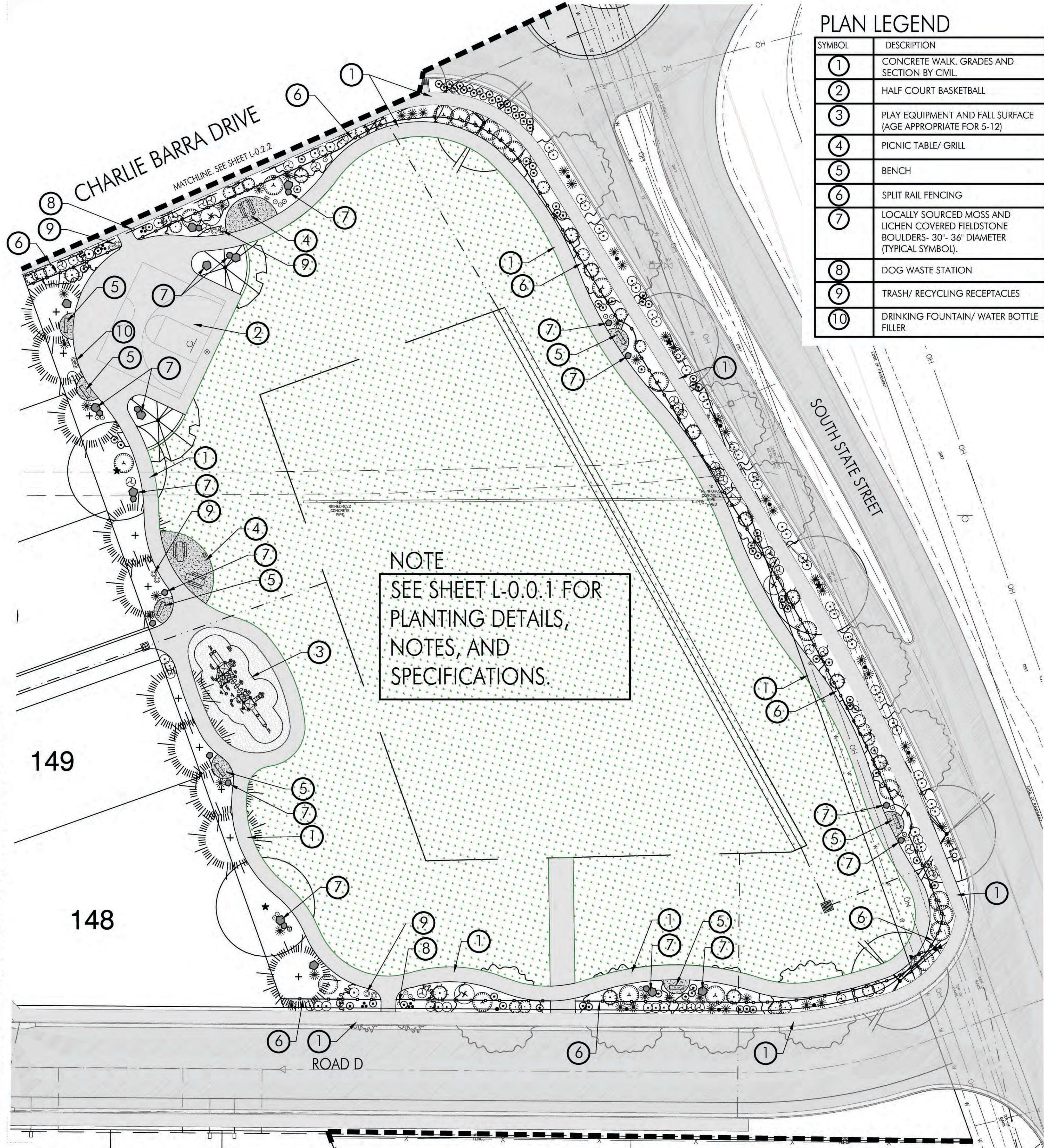


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PLAN LEGEND

SYMBOL	DESCRIPTION
①	CONCRETE WALK, GRADES AND SECTION BY CIVIL.
②	HALF COURT BASKETBALL
③	PLAY EQUIPMENT AND FALL SURFACE (AGE APPROPRIATE FOR 5-12)
④	PICNIC TABLE/ GRILL
⑤	BENCH
⑥	SPLIT RAIL FENCING
⑦	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
⑧	DOG WASTE STATION
⑨	TRASH/ RECYCLING RECEPTACLES
⑩	DRINKING FOUNTAIN/ WATER BOTTLE FILLER

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	CARPINUS BETULUS EUROPEAN HORNBEAM	LOW	15 GAL.	20	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	5	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	10	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA GINKGO TREE (FRUITLESS)	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	85	SEE DETAIL 2, SHEET L-0.0.1
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	132	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	26	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	216	SEE DETAIL 2, SHEET L-0.0.1
	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	41	SEE DETAIL 2, SHEET L-0.0.1
	ACHILLEA X MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	20	SEE DETAIL 2, SHEET L-0.0.1
	ARCTOSTAPHYLOS DENSIFOLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	12	SEE DETAIL 2, SHEET L-0.0.1
	CHAENOLMELES FLOWERING QUINCE	MED	5 GAL.	3	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	16	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	63,911 SF	PLANT PER SOD SPECIFICATIONS
SYMBOL					
	88 ← PLANT QUANTITY				
	S-88 ← PLANT TYPE				

EXHIBIT C



LICENSE



CONSULTANT

CLIENT

GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
NEIGHBORHOOD
PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
NO.	PRELIM	5-8-25
--	REV PRELIM	6-18-25

Plot Date: June 27, 2025 - 3:33 pm

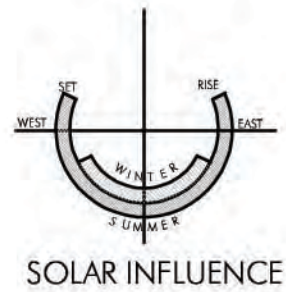
PROJECT NUMBERS

BFLA PROJECT #: 2431.1

RAR PROJECT #: 24074

SHEET NUMBER

L-0.2.1



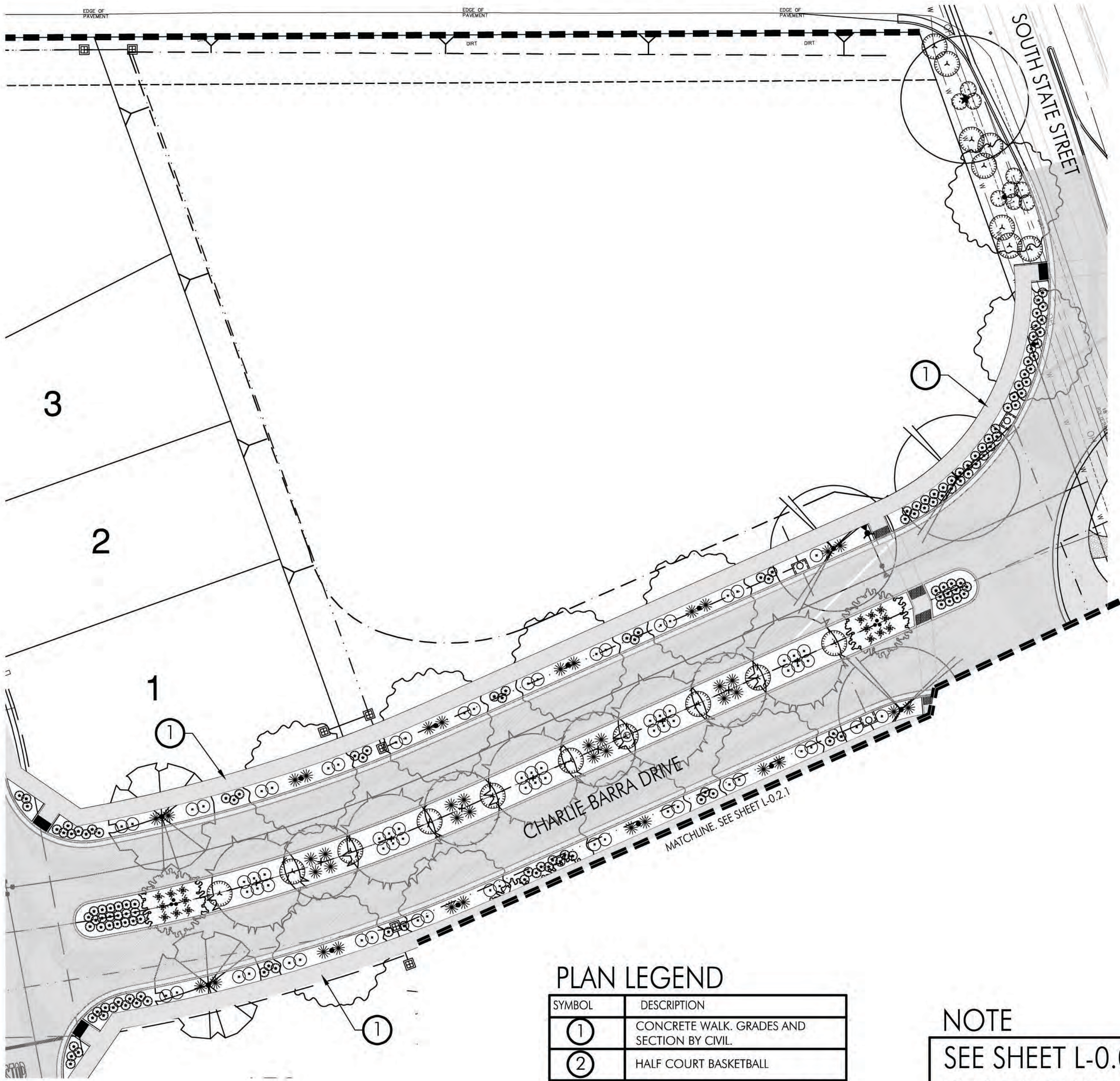
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PLAN LEGEND

SYMBOL	DESCRIPTION
①	CONCRETE WALK, GRADES AND SECTION BY CIVIL
②	HALF COURT BASKETBALL
③	PLAY EQUIPMENT AND FALL SURFACE (AGE APPROPRIATE FOR 5-12)
④	PICNIC TABLE/ GRILL
⑤	BENCH
⑥	SPLIT RAIL FENCING
⑦	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
⑧	DOG WASTE STATION
⑨	TRASH/ RECYCLING RECEPTACLES
⑩	DRINKING FOUNTAIN/ WATER BOTTLE FILLER

NOTE

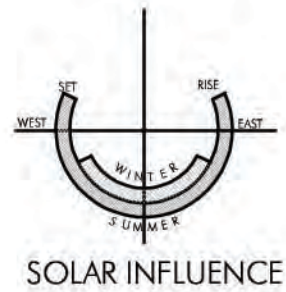
SEE SHEET L-0.0.1 FOR PLANTING DETAILS, NOTES, AND SPECIFICATIONS.

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	CARPINUS BETULUS EUROPEAN HORNBEAM	LOW	15 GAL.	20	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	5	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	10	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA GINKGO TREE (FRUITLESS)	LOW	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	85	SEE DETAIL 2, SHEET L-0.0.1
	RHAMPHOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	132	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	26	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	216	SEE DETAIL 2, SHEET L-0.0.1
	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	41	SEE DETAIL 2, SHEET L-0.0.1
	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	20	SEE DETAIL 2, SHEET L-0.0.1
	ARCTOSTAPHYLOS DENSIFOLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	12	SEE DETAIL 2, SHEET L-0.0.1
	CHAENOLMELES FLOWERING QUINCE	MED	5 GAL.	3	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	16	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	63,911 SF	PLANT PER SOD SPECIFICATIONS
SYMBOL					
	88	← PLANT QUANTITY			
	S-88	← PLANT TYPE			



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CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
NEIGHBORHOOD
PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	NO.	DESCRIPTION	DATE
--	PRELIM		5-8-25
--	REV PRELIM		6-18-25

Plot Date: June 27, 2025 - 3:33 pm

PROJECT NUMBERS

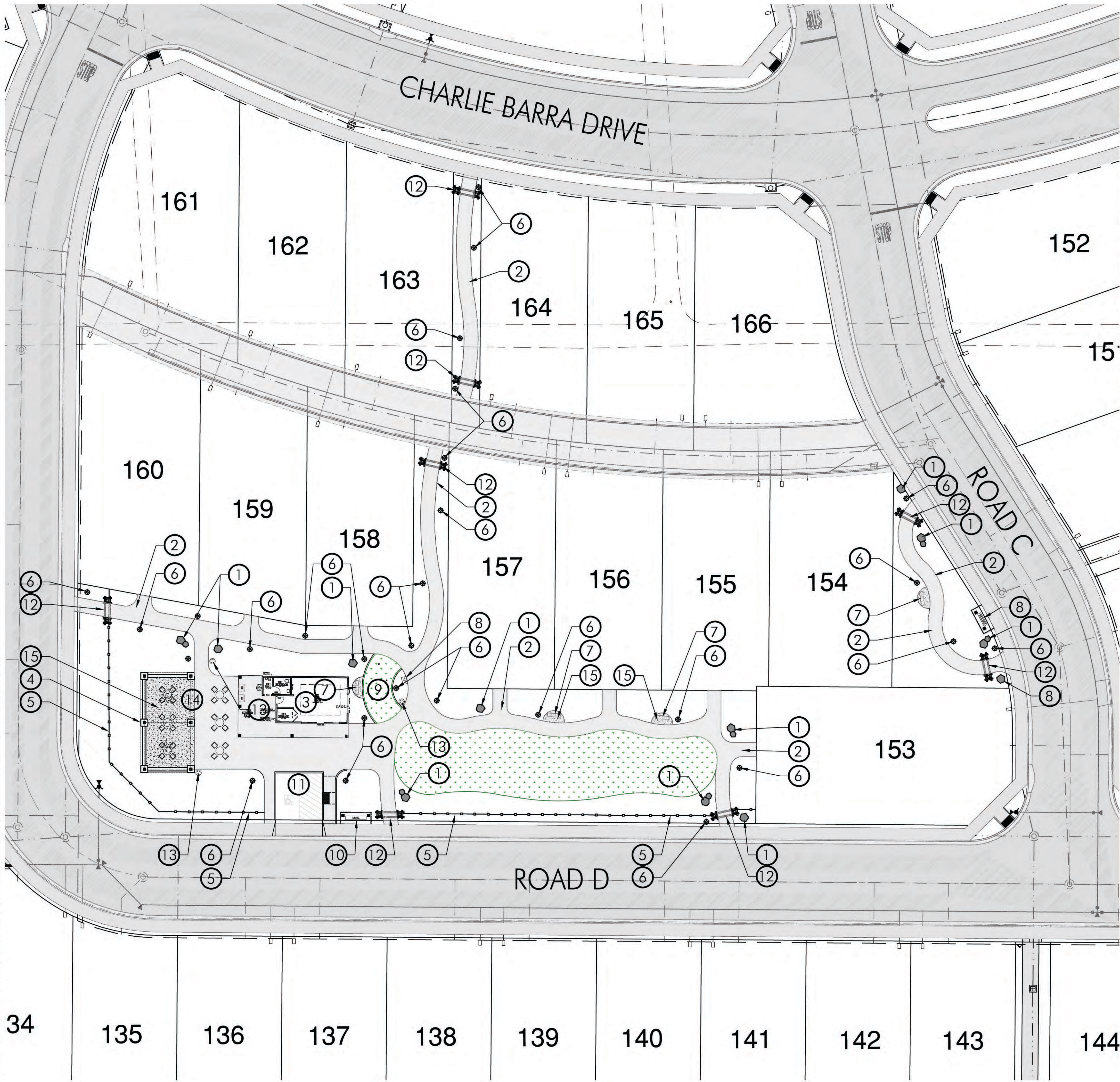
BFLA PROJECT #: 2431.1

RAR PROJECT #: 24074

SHEET NUMBER

L-0.2.2

File Name: \\bfservice\c\30g\BFLA (2400-2499)\2431.3 Bella Vista Ukiah- Cottage Park\2431.3 CAD\2431.3 Prelim\8-29-25.dwg



PLAN LEGEND

SYMBOL	DESCRIPTION
①	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER.
②	CONCRETE WALKWAY. SEE CIVIL ENGINEER'S PLANS FOR SECTION AND GRADES
③	COMMUNITY CENTER. SEE ARCHITECT'S PLANS.
④	SHADE STRUCTURE WITH CONCRETE SEATWALL SURROUND.
⑤	SPLIT RAIL FENCING
⑥	BOLLARD LIGHTING
⑦	BENCH
⑧	FREE LIBRARY
⑨	PUTTING GREEN
⑩	CLUSTER MAILBOX
⑪	ACCESSIBLE PARKING
⑫	DECORATIVE ENTRY ARCHWAY
⑬	TRASH RECEPTACLE
⑭	COMMUNITY CENTER PATIO. SEE CIVIL ENGINEER'S PLANS FOR SECTION(S) AND GRADES.
⑮	DECORATIVE CONCRETE OPPORTUNITY. DECORATIVE TREATMENT PER DEVELOPER.

EXHIBIT C

BISHO FIRTH
LANDSCAPE
ARCHITECTS, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLAdesign.com
www.facebook.com/BFLAdesign

LICENSE

CONSULTANT

CLIENT

GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
COTTAGE PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES

NO.	DESCRIPTION	DATE
--	PRELIM	5-8-25

Plot Date: September 03, 2025 - 4:20 pm

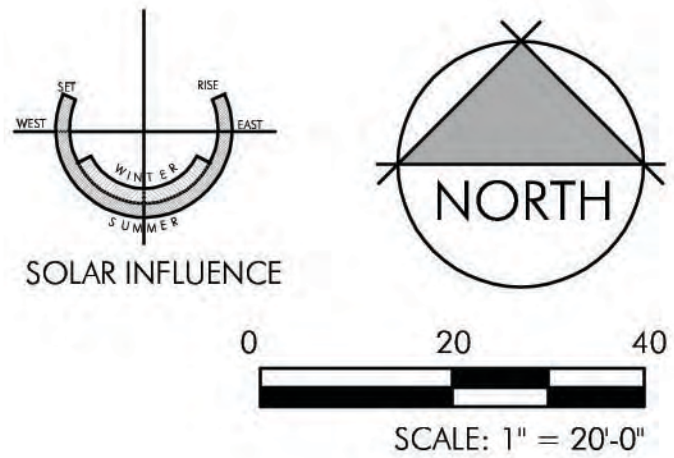
PROJECT NUMBERS

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RAR PROJECT #: 24074

SHEET NUMBER

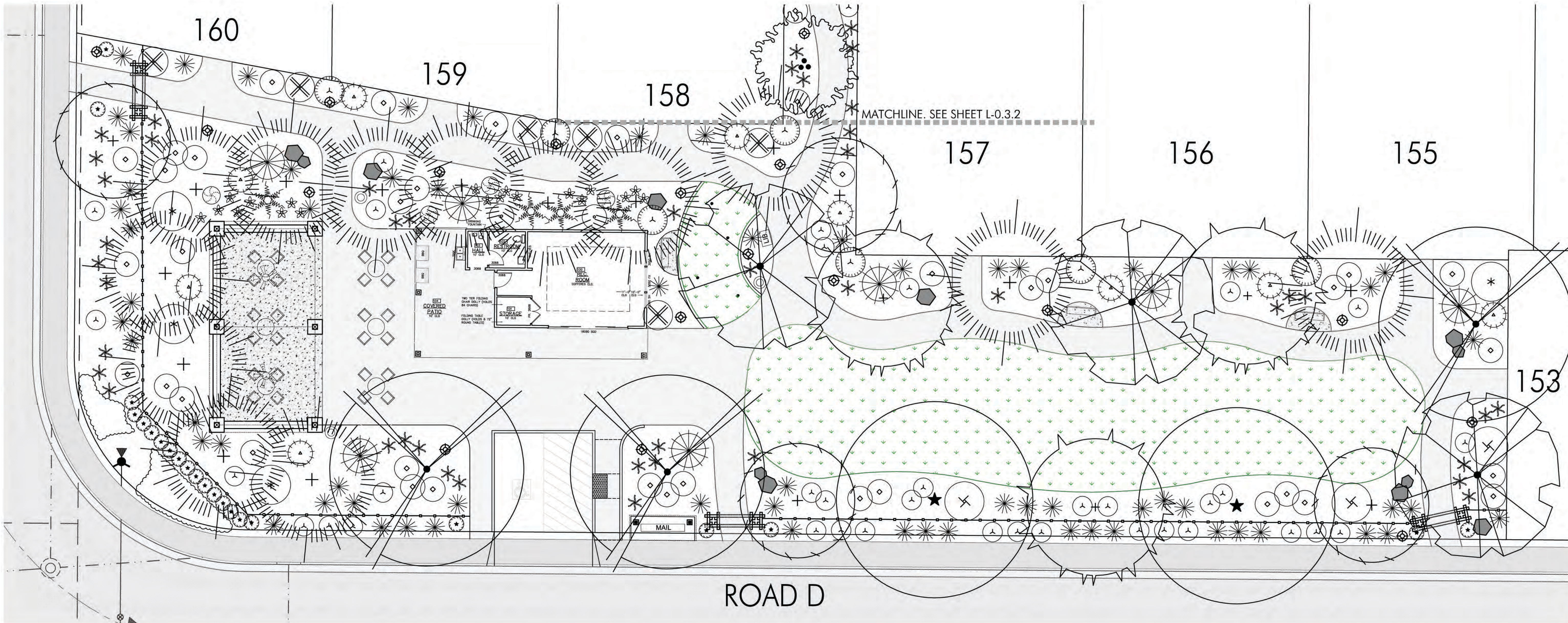
L-0.3.0

EXHIBIT C - Page 7 of 15



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File Name: \\Bfservice\c\30g\BFLA (2400-2499)\2431.3 Bella Vista Ukiah- Cottage Park\2431.3 CAD\2431.3 Prelim\8-29-25.dwg



TREE LIST

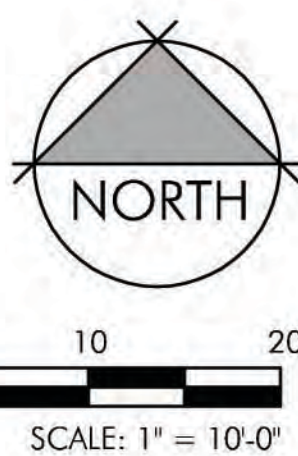
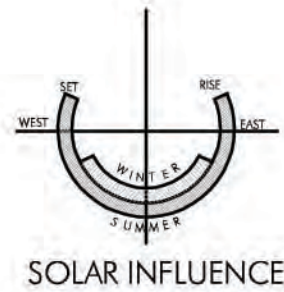
SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KEITH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	16	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA' GINKGO TREE (FRUITLESS)	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	DIETES IRIDOIDES FORTNIGHT LILY	LOW	5 GAL.	83	SEE DETAIL 2, SHEET L-0.0.1
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	47	SEE DETAIL 2, SHEET L-0.0.1
	GARDENIA JASMINOIDES 'VEITCHII' EVERBLOOMING GARDENIA	LOW	5 GAL.	10	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	HYDRANGEA MACROPHYLLA HYDRANGEA (BLUE)	MED	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	CEDRUS DEODARA 'PROSTRATE BEAUTY' PROSTRATE DEODAR CEDAR	LOW	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	PODOCARPUS MACROPHYLLUS YEW PODOCARPUS	MED	1 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	SYRINGA VULGARIS LILAC	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	CHAENOLMELES FLOWERING QUINCE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	70	SEE DETAIL 2, SHEET L-0.0.1
	CAMELLIA SASANQUA 'YULETIDE' YULETIDE CAMELLIA	MED	5 GAL.	4	SEE DETAIL 2, SHEET L-0.0.1
	DAPHNE ORDORA 'MAGINATA' VARIEGATED WINTER DAPHNE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	LOROPETALUM CHINENSIS 'JAZZ HANDS' COMPACT LOROPETALUM	MED	5 GAL.	46	SEE DETAIL 2, SHEET L-0.0.1
	DICKSONIA ANTARCTICA TASMANIAN TREE FERN	MED	5 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	POLYSTICHUM MUNITUM WESTERN SWORD FERN	MED	1 GAL.	36	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	3,695 SF	PLANT PER SOD SPECIFICATIONS



UNDERGROUND
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LICENSE



CONSULTANT

CLIENT

GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
COTTAGE PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES

NO. DESCRIPTION DATE
-- PRELIM 5-8-25

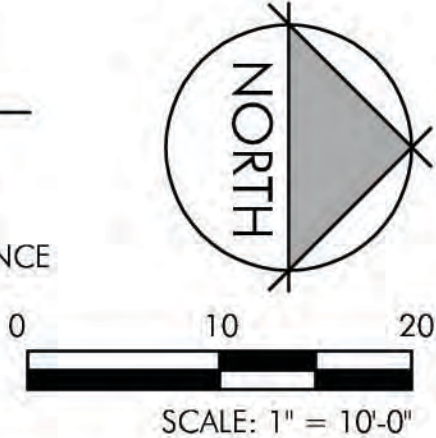
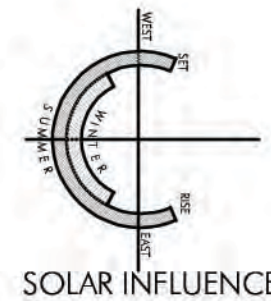
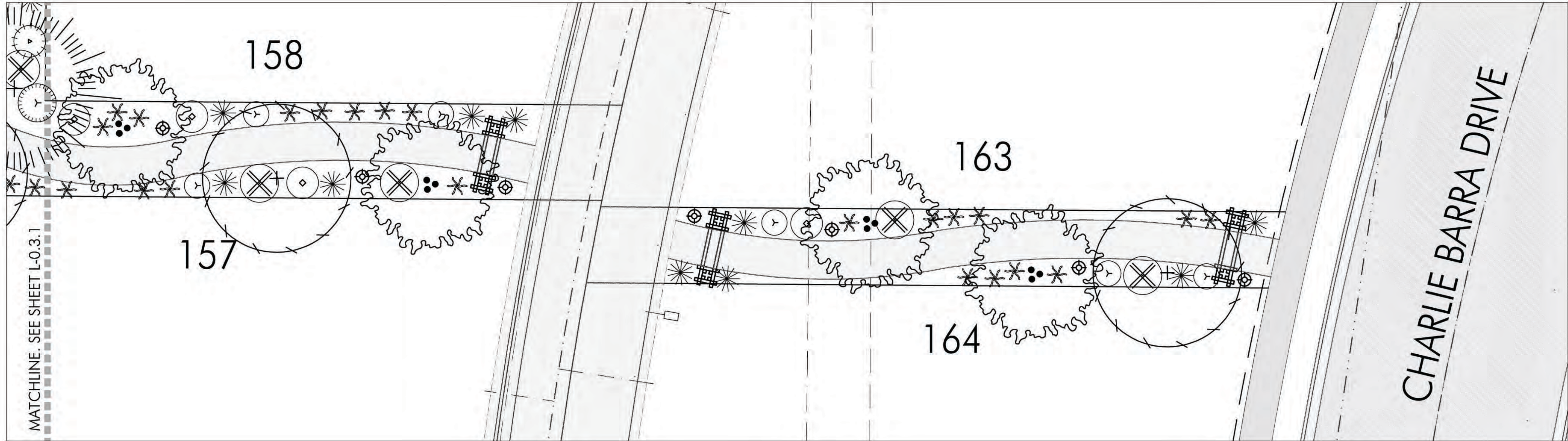
Plot Date: September 03, 2025 - 4:20 pm

PROJECT NUMBERS

BFLA PROJECT #: 2431.3
RAR PROJECT #: 24074

SHEET NUMBER

L-0.3.1



UNDERGROUND
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TREE LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	16	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA 'GINKGO TREE (FRUITLESS)	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	DIETES IRIDOIDES FORTNIGHT LILY	LOW	5 GAL.	83	SEE DETAIL 2, SHEET L-0.0.1
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	47	SEE DETAIL 2, SHEET L-0.0.1
	GARDENIA JASMINOIDES 'VEITCHII' EVERBLOOMING GARDENIA	LOW	5 GAL.	10	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	HYDRANGEA MACROPHYLLA HYDRANGEA (BLUE)	MED	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	CEDRUS DEODARA 'PROSTRATE BEAUTY' PROSTRATE DEODAR CEDAR	LOW	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	PODOCARPUS MACROPHYLLUS YEW PODOCARPUS	MED	1 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	SYRINGA VULGARIS LILAC	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	CHAENOLMELES FLOWERING QUINCE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	70	SEE DETAIL 2, SHEET L-0.0.1
	CAMELILLIA SASANQUA 'YULETIDE' YULETIDE CAMELLIA	MED	5 GAL.	4	SEE DETAIL 2, SHEET L-0.0.1
	DAPHNE ORDORA 'MAGINATA' VARIEGATED WINTER DAPHNE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	LOROPETALUM CHINENSIS 'JAZZ HANDS' COMPACT LOROPETALUM	MED	5 GAL.	46	SEE DETAIL 2, SHEET L-0.0.1
	DICKSONIA ANTARCTICA TASMANIAN TREE FERN	MED	5 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	POLYSTICHUM MUNITUM WESTERN SWORD FERN	MED	1 GAL.	36	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	3,695 SF	PLANT PER SOD SPECIFICATIONS

BISHO FIRTH
LANDSCAPE
ARCHITECTS, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
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LICENSE



CONSULTANT

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GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
COTTAGE PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	NO.	DESCRIPTION	DATE
--	PRELIM		5-8-25

Plot Date: September 03, 2025 - 4:21 pm

PROJECT NUMBERS

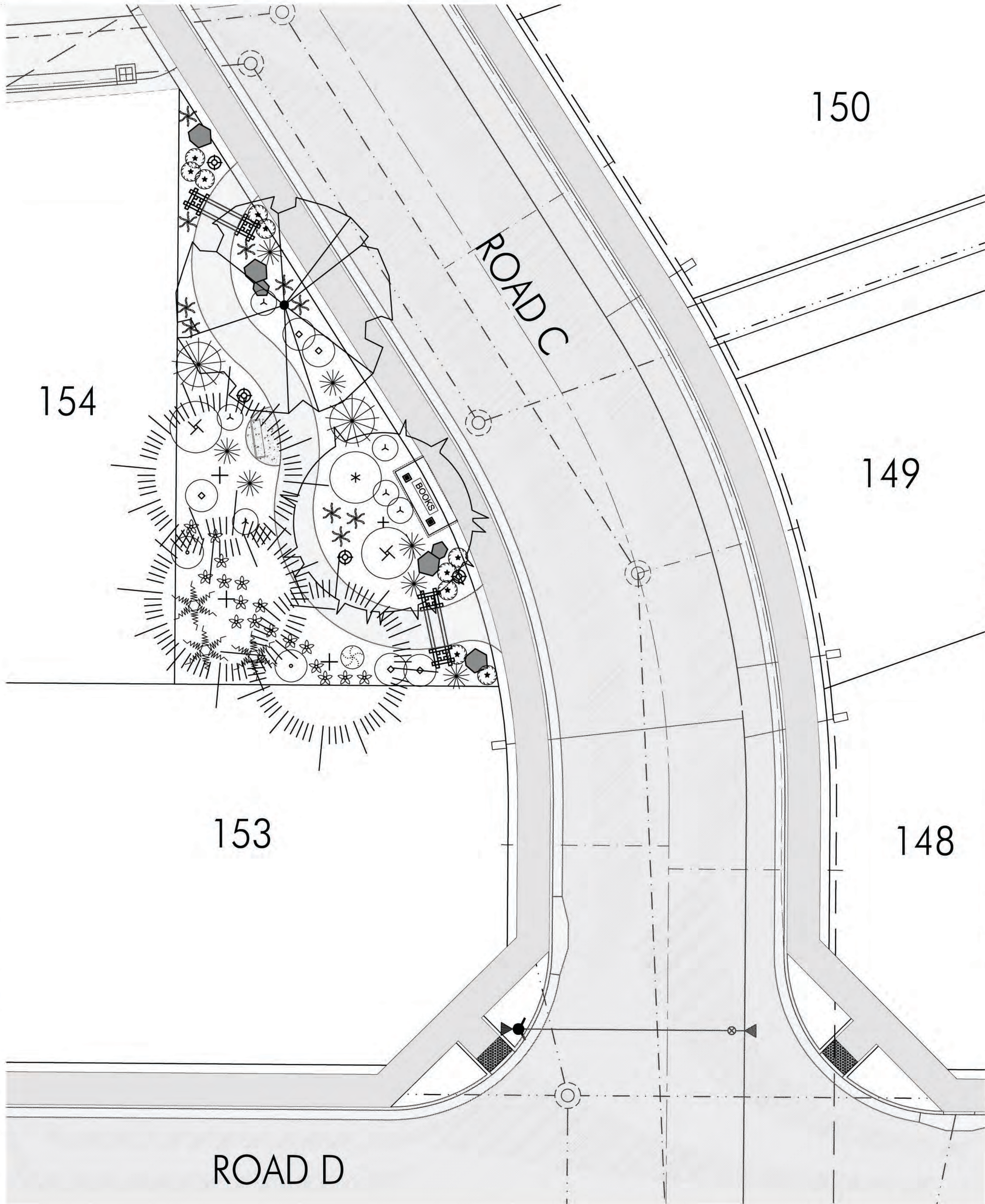
BFLA PROJECT #: 2431.3

RAR PROJECT #: 24074

SHEET NUMBER

L-0.3.2

File Name: \\Bdserver\c\30g\BFLA (2400-2499)\2431.3 CAD\2431.3 Prelim\2431.3 Prelim 8-29-25.dwg



SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	DIETES IRIDOIDES FORTNIGHT LILY	LOW	5 GAL.	83	SEE DETAIL 2, SHEET L-0.0.1
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	47	SEE DETAIL 2, SHEET L-0.0.1
	GARDENIA JASMINOIDES 'VEITCHII' EVERBLOOMING GARDENIA	LOW	5 GAL.	10	SEE DETAIL 2, SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	32	SEE DETAIL 2, SHEET L-0.0.1
	HYDRANGEA MACROPHYLLA HYDRANGEA (BLUE)	MED	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	CEDRUS DEODARA 'PROSTRATE BEAUTY' PROSTRATE DEODAR CEDAR	LOW	1 GAL.	9	SEE DETAIL 2, SHEET L-0.0.1
	PODOCARPUS MACROPHYLLUS YEW PODOCARPUS	MED	1 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	SYRINGA VULGARIS LILAC	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1

SHRUB LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	CHAENOLMELES FLOWERING QUINCE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	70	SEE DETAIL 2, SHEET L-0.0.1
	CAMELILIA SASANQUA 'YULETIDE' YULETIDE CAMELLIA	MED	5 GAL.	4	SEE DETAIL 2, SHEET L-0.0.1
	DAPHNE ORDORA 'MAGINATA' VARIEGATED WINTER DAPHNE	MED	5 GAL.	5	SEE DETAIL 2, SHEET L-0.0.1
	LOROPETALUM CHINENSIS 'JAZZ HANDS' COMPACT LOROPETALUM	MED	5 GAL.	46	SEE DETAIL 2, SHEET L-0.0.1
	DICKSONIA ANTARCTICA TASMANIAN TREE FERN	MED	5 GAL.	7	SEE DETAIL 2, SHEET L-0.0.1
	POLYSTICHUM MUNITUM WESTERN SWORD FERN	MED	1 GAL.	36	SEE DETAIL 2, SHEET L-0.0.1
GRASS					
	RHIZOTOMACEOUS TALL FESCUE RTF TURF	HIGH	SOD	3,695 SF	PLANT PER SOD SPECIFICATIONS

TREE LIST

SYMBOL	BOTANICAL NAME/ COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	ULMUS PARVIFOLIA CHINESE ELM	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	ACER RUBRUM 'AUTUMN BLAZE' AUTUMN BLAZE MAPLE	MED	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	SEQUOIA SEMPERVIRENS 'APTOS BLUE' APTOS BLUE REDWOOD	MED	15 GAL.	16	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	GINKGO BILOBA 'SARATOGA' SARATOGA GINKGO TREE (FRUITLESS)	LOW	15 GAL.	4	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	6	STANDARD FORM. SEE DETAIL 1, SHEET L-0.0.1



LICENSE



CONSULTANT

CLIENT

GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
COTTAGE PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
NO.	PRELIM	5-8-25

Plot Date: September 03, 2025 - 4:21 pm

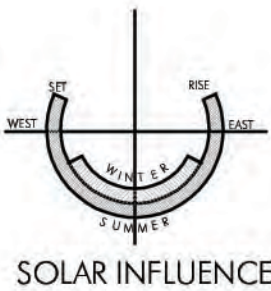
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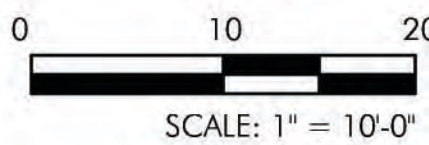
RAR PROJECT #: 24074

SHEET NUMBER

L-0.3.3



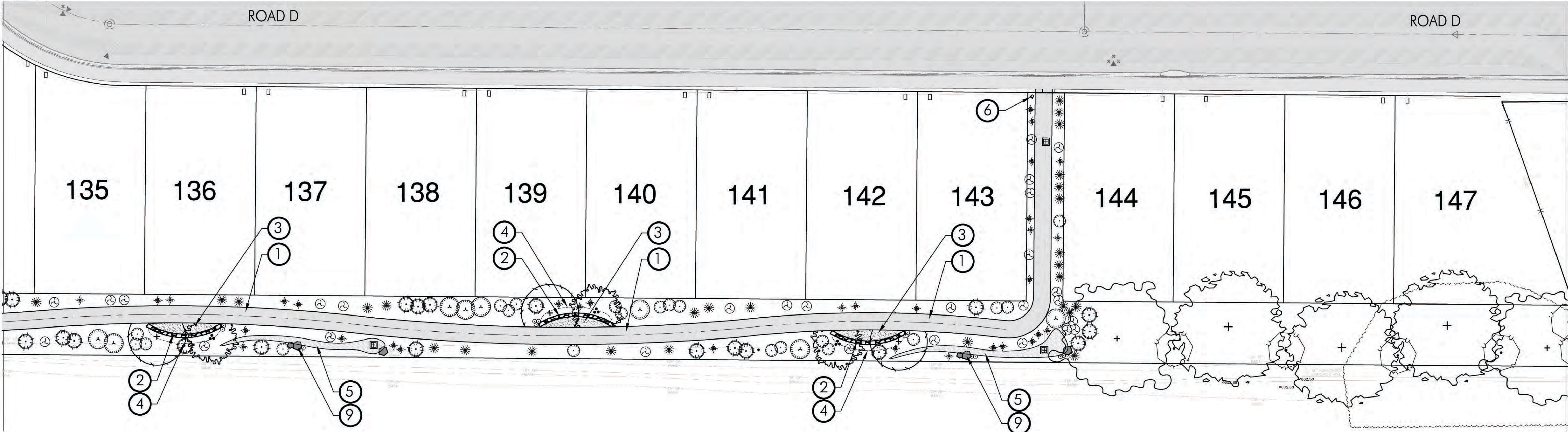
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File Name: Z:\BFLA (2400-2499)\2431.4 Bella Vista Linear Park\2431.4 CAD\2431.4 Prelim 6-27-25.dwg



PLAN LEGEND

SYMBOL	DESCRIPTION
①	CONCRETE WALK, GRADES AND SECTION BY CIVIL.
②	DRystack ROCK SEATWALL/ RETAINING WALL
③	CRUSHED ROCK
④	MOUNDING
⑤	COBBLE LINED SWALE
⑥	DOG WASTE STATION
⑦	LARGE DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑧	SMALL DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑨	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
⑩	WELCOME SIGNAGE OPPORTUNITY. SIGN DESIGN AS YET TO BE DETERMINED.

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
☼	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	125	SEE DETAIL 2 SHEET L-0.0.1
⊙	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	24	SEE DETAIL 2 SHEET L-0.0.1
☼	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	59	SEE DETAIL 2 SHEET L-0.0.1
⊙	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	11	SEE DETAIL 2 SHEET L-0.0.1
☼	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	110	SEE DETAIL 2 SHEET L-0.0.1
⊙	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	47	SEE DETAIL 2 SHEET L-0.0.1
⊙	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	90	SEE DETAIL 2 SHEET L-0.0.1
☼	ARCTOSTAPHYLOS DENSIFOLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	60	SEE DETAIL 2 SHEET L-0.0.1
☼	HETEROMELES ARBUTIFOLIA TOYON	LOW	5 GAL.	6	SEE DETAIL 2 SHEET L-0.0.1
☼	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	77	SEE DETAIL 2 SHEET L-0.0.1

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
☼	QUERCUS LOBATA VALLEY OAK	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
☼	QUERCUS SUBER CORK OAK	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
☼	PISTACHIA CHINENSIS 'KIETH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
☼	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	12	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
☼	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	13	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1

EXHIBIT C

BISHO FIRTH LANDSCAPE ARCHITECTS, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLAdesign.com
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LICENSE



CONSULTANT

CLIENT
GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
LINEAR PARK

SHEET TITLE
PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
--	PRELIM	5-8-25
--	REV PRELIM	6-18-25

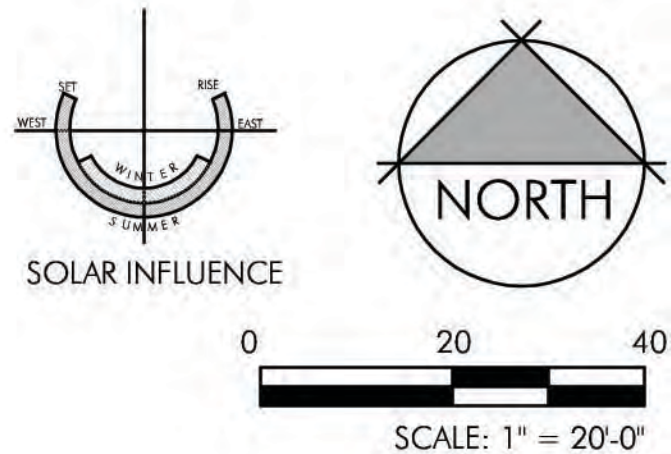
Plot Date: June 27, 2025 - 3:50 pm

PROJECT NUMBERS
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RAR PROJECT #: 24074

SHEET NUMBER

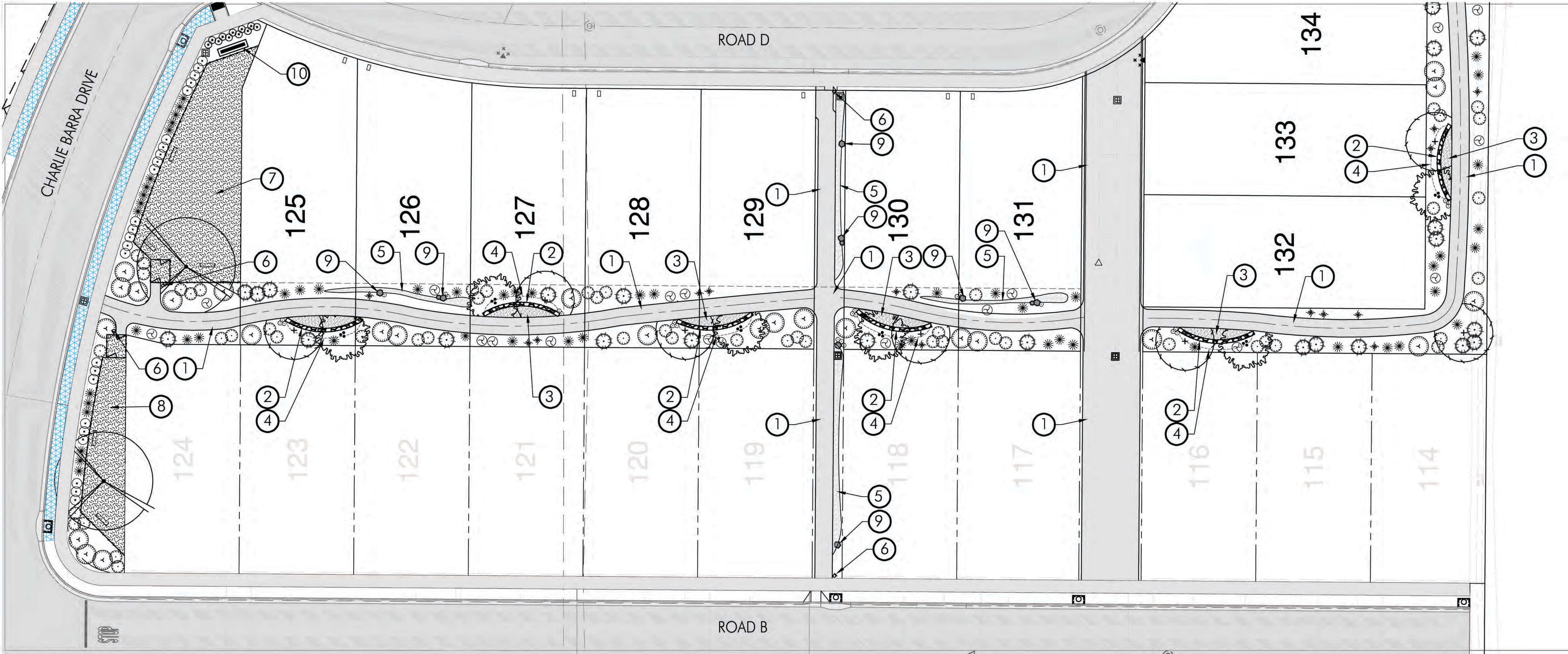
L-0.4.1

EXHIBIT C - Page 11 of 15



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File Name: Z:\BFLA (2400-2499)\2431.4 Bella Vista Linear Park\2431.4 CAD\2431.4 Prelim\2431.4 Prelim 6-27-25.dwg



PLAN LEGEND

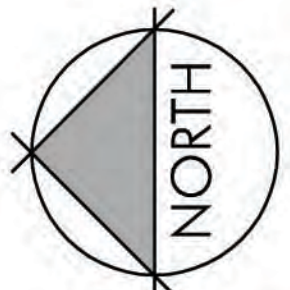
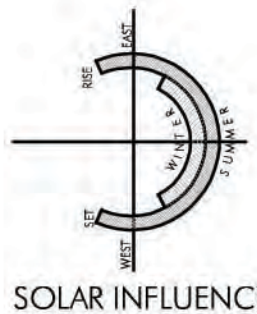
SYMBOL	DESCRIPTION
1	CONCRETE WALK. GRADES AND SECTION BY CIVIL.
2	DRystack ROCK SEATWALL/ RETAINING WALL
3	CRUSHED ROCK
4	MOUNDING
5	COBBLE LINED SWALE
6	DOG WASTE STATION
7	LARGE DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
8	SMALL DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
9	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
10	WELCOME SIGNAGE OPPORTUNITY. SIGN DESIGN AS YET TO BE DETERMINED.

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	125	SEE DETAIL 2 SHEET L-0.0.1
	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	24	SEE DETAIL 2 SHEET L-0.0.1
	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	59	SEE DETAIL 2 SHEET L-0.0.1
	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	11	SEE DETAIL 2 SHEET L-0.0.1
	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	110	SEE DETAIL 2 SHEET L-0.0.1
	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	47	SEE DETAIL 2 SHEET L-0.0.1
	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	90	SEE DETAIL 2 SHEET L-0.0.1
	ARCTOSTAPHYLOS DENSIFLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	60	SEE DETAIL 2 SHEET L-0.0.1
	HETEROMELES ARBUTIFOLIA TOYON	LOW	5 GAL.	6	SEE DETAIL 2 SHEET L-0.0.1
	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	77	SEE DETAIL 2 SHEET L-0.0.1

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
	QUERCUS LOBATA VALLEY OAK	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
	QUERCUS SUBER CORK OAK	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
	PISTACHIA CHINENSIS 'KEITH DAVIES' KEITH DAVIES CHINESE PISTACHE	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
	LAGERSTROEMIA INDICA 'TUSCARORA' CRAPE MYRTLE	LOW	15 GAL.	12	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	13	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1



0 20 40
SCALE: 1" = 20'-0"



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GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
LINEAR PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
NO.	PRELIM	5-8-25
REV	REV PRELIM	6-18-25

Plot Date: June 27, 2025 - 3:50 pm

PROJECT NUMBERS

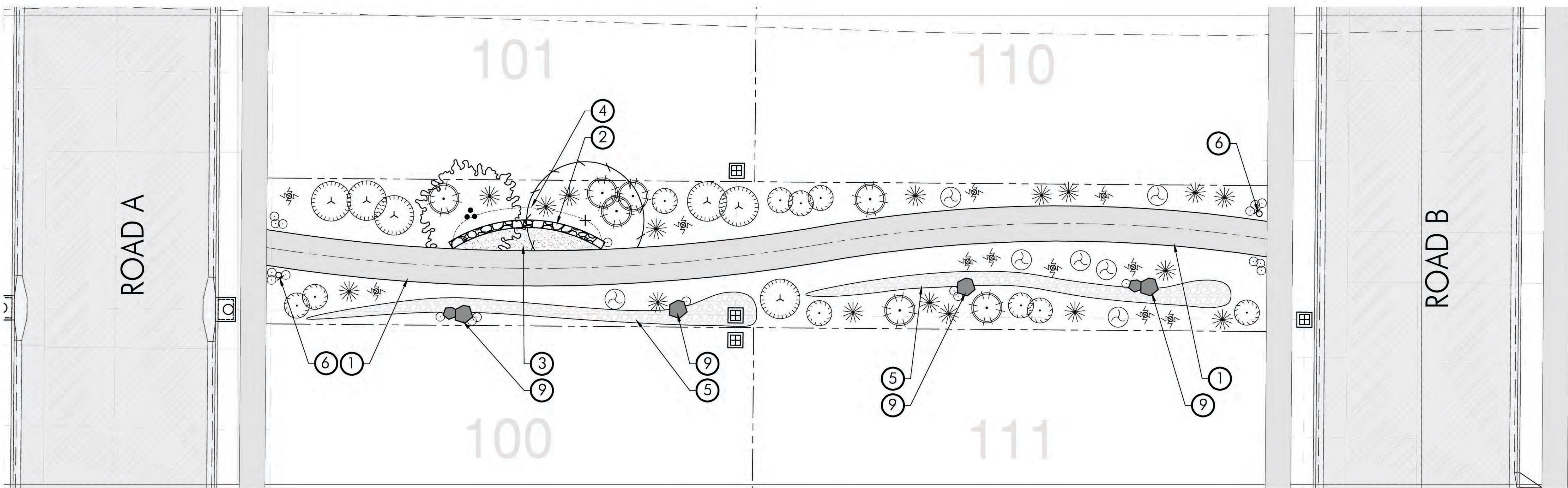
BFLA PROJECT #: 2431.3

RAR PROJECT #: 24074

SHEET NUMBER

L-0.4.2

File Name: Z:\BFLA (2400-2499)\2431.4 Bella Vista Linear Park\2431.4 CAD\2431.4 Prelim 6-27-25.dwg



PLAN LEGEND

SYMBOL	DESCRIPTION
①	CONCRETE WALK, GRADES AND SECTION BY CIVIL.
②	DRYSTACK ROCK SEATWALL/ RETAINING WALL
③	CRUSHED ROCK
④	MOUNDING
⑤	COBBLE LINED SWALE
⑥	DOG WASTE STATION
⑦	LARGE DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑧	SMALL DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑨	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
⑩	WELCOME SIGNAGE OPPORTUNITY. SIGN DESIGN AS YET TO BE DETERMINED.

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
☼	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	125	SEE DETAIL 2 SHEET L-0.0.1
⊙	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	24	SEE DETAIL 2 SHEET L-0.0.1
☼	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	59	SEE DETAIL 2 SHEET L-0.0.1
⊙	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	11	SEE DETAIL 2 SHEET L-0.0.1
☼	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	110	SEE DETAIL 2 SHEET L-0.0.1
⊙	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	47	SEE DETAIL 2 SHEET L-0.0.1
⊙	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	90	SEE DETAIL 2 SHEET L-0.0.1
☼	ARCTOSTAPHYLOS DENSIFOLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	60	SEE DETAIL 2 SHEET L-0.0.1
☼	HETEROMELES ARBUTIFOLIA TOYON	LOW	5 GAL.	6	SEE DETAIL 2 SHEET L-0.0.1
☼	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	77	SEE DETAIL 2 SHEET L-0.0.1

TREE LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
TREES					
☼	QUERCUS LOBATA VALLEY OAK	LOW	15 GAL.	3	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
☼	QUERCUS SUBER CORK OAK	LOW	15 GAL.	2	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1
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☼	CERCIS CANADENSIS VAR. TEXENSIS 'OKLAHOMA' OKLAHOMA REDBUD	MED	15 GAL.	13	STANDARD FORM. SEE DETAIL 1 SHEET L-0.0.1

EXHIBIT C

BISHO FIRTH
LANDSCAPE
ARCHITECTS, INC.
627 BROADWAY, SUITE 220,
CHICO, CALIFORNIA 95928
PHONE: (530) 899-1130
www.BFLAdesign.com
www.locabook.com/BFLAdesign

LICENSE



CONSULTANT

CLIENT
GUILLON INC
CONSTRUCTION
2550 LAKEWEST
DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
LINEAR PARK

SHEET TITLE
PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
--	PRELIM	5-8-25
--	REV PRELIM	6-18-25

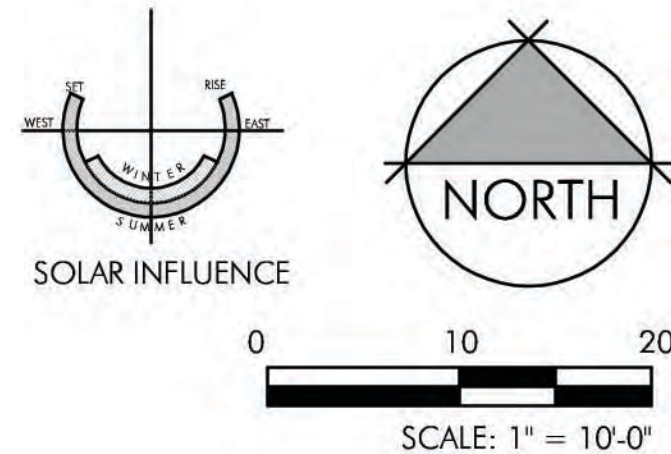
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PROJECT NUMBERS
BFLA PROJECT #: 2431.3
RAR PROJECT #: 24074

SHEET NUMBER

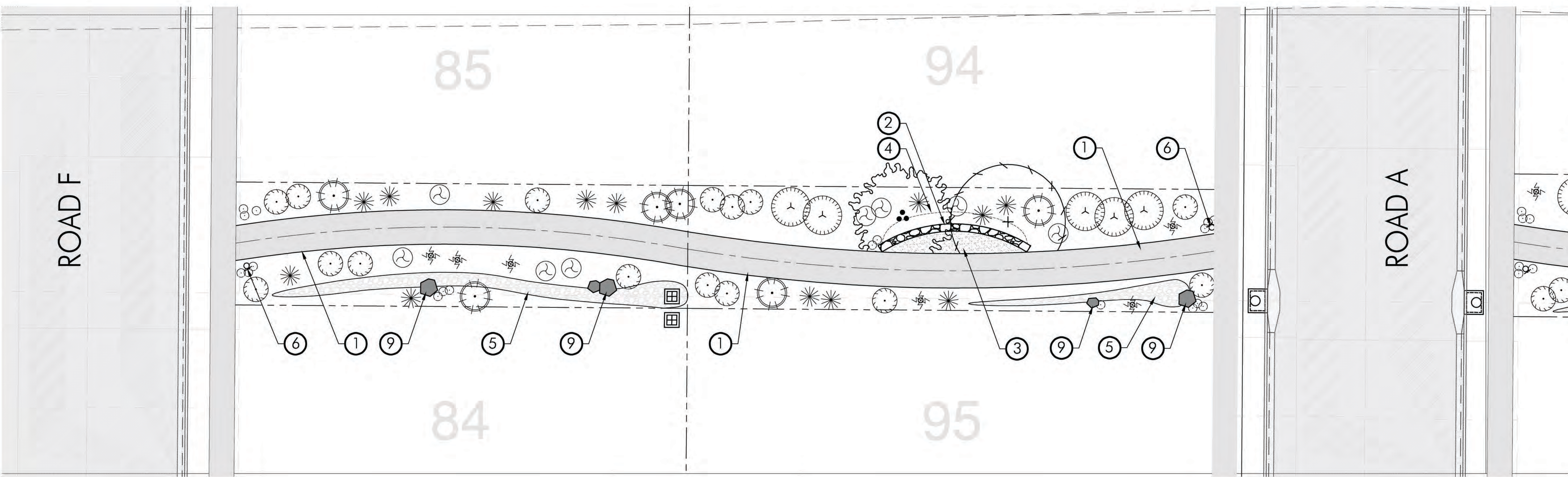
L-0.4.3

EXHIBIT C - Page 13 of 15



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File Name: Z:\BFLA (2400-2499)\2431.4 Bella Vista Linear Park\2431.4 CAD\2431.4 Prelim\2431.4 Prelim 6-27-25.dwg



PLAN LEGEND

SYMBOL	DESCRIPTION
①	CONCRETE WALK. GRADES AND SECTION BY CIVIL.
②	DRystack ROCK SEATWALL/ RETAINING WALL
③	CRUSHED ROCK
④	MOUNDING
⑤	COBBLE LINED SWALE
⑥	DOG WASTE STATION
⑦	LARGE DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑧	SMALL DOG PARK WTIH FENCING AND BENCHES AND CRUSHED ROCK SURFACE
⑨	LOCALLY SOURCED MOSS AND LICHEN COVERED FIELDSTONE BOULDERS- 30"- 36" DIAMETER (TYPICAL SYMBOL).
⑩	WELCOME SIGNAGE OPPORTUNITY. SIGN DESIGN AS YET TO BE DETERMINED.

SHRUB LIST

SYMBOL	BOTANICAL NAME/COMMON NAME	WATER USE	SIZE	QTY	REMARKS
SHRUBS					
✱	FORTNIGHT LILY DIETES IRIDOIDES	LOW	5 GAL.	125	SEE DETAIL 2 SHEET L-0.0.1
⊙	RHAPHIOLEPIS UMBELLATA 'MINOR' DWARF YEDDA HAWTHORN	LOW	5 GAL.	24	SEE DETAIL 2 SHEET L-0.0.1
⊙	SALVIA GREGII 'RED' RED FLOWERING AUTUMN SAGE	LOW	5 GAL.	59	SEE DETAIL 2 SHEET L-0.0.1
⊙	ROSA X 'NOARE' FLOWER CARPET RED GROUNDCOVER ROSE	MED	5 GAL.	11	SEE DETAIL 2 SHEET L-0.0.1
⊙	CISTUS X PULVERULENTUS 'SUNSET' MAGENTA ROCKROSE	LOW	1 GAL.	110	SEE DETAIL 2 SHEET L-0.0.1
⊙	SALVIA X 'BEE'S BLISS' BEE'S BLISS SAGE	LOW	1 GAL.	47	SEE DETAIL 2 SHEET L-0.0.1
⊙	ACHILLEA X 'MOONSHINE' MOONSHINE YARROW	LOW	1 GAL.	90	SEE DETAIL 2 SHEET L-0.0.1
⊙	ARCTOSTAPHYLOS DENSIFOLORA 'HOWARD MCMINN' MCMINN MANZANITA	LOW	5 GAL.	60	SEE DETAIL 2 SHEET L-0.0.1
⊙	HETEROMELES ARBUTIFOLIA TOYON	LOW	5 GAL.	6	SEE DETAIL 2 SHEET L-0.0.1
✱	AGAPANTHUS AFRICANUS LILY OF THE NILE	MED	1 GAL.	77	SEE DETAIL 2 SHEET L-0.0.1

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TREES					
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EXHIBIT C



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CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
LINEAR PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
--	PRELIM	5-8-25
--	REV PRELIM	6-18-25

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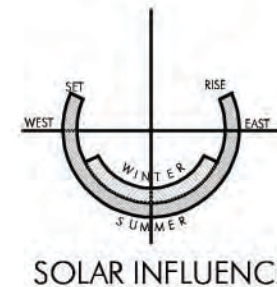
PROJECT NUMBERS

BFLA PROJECT #: 2431.3

RAR PROJECT #: 24074

SHEET NUMBER

L-0.4.4



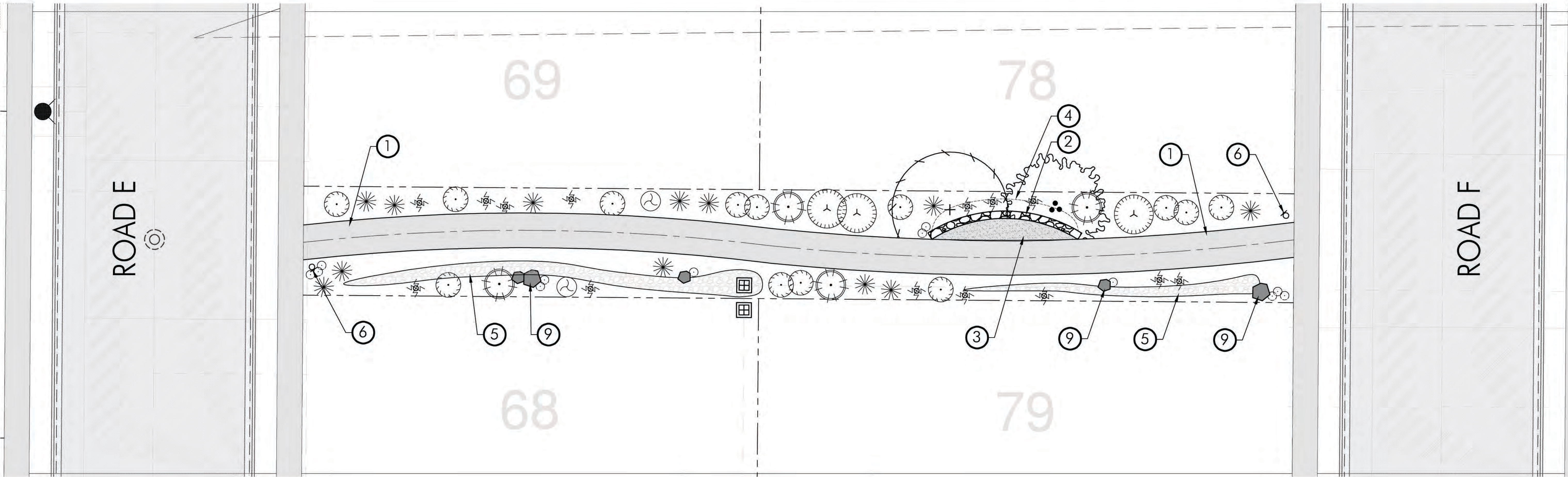
SCALE: 1" = 10'-0"



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File Name: Z:\BFLA (2400-2499)\2431.4 Bella Vista Linear Park\2431.4 CAD\2431.4 Prelim\2431.4 Prelim 6-27-25.dwg



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EXHIBIT C



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DRIVE, STE 50

CHICO, CA 95928
530-513-3626

PROJECT

BELLA VISTA
SUBDIVISION
LINEAR PARK

SHEET TITLE

PRELIMINARY
PLANTING
PLAN

DATES	DESCRIPTION	DATE
--	PRELIM	5-8-25
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Plot Date: June 27, 2025 - 3:51 pm

PROJECT NUMBERS

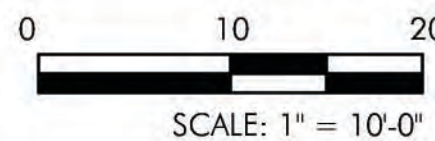
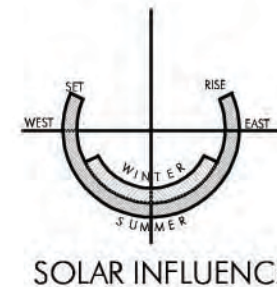
BFLA PROJECT #: 2431.3

RAR PROJECT #: 24074

SHEET NUMBER

L-0.4.5

EXHIBIT C - Page 15 of 15



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EXHIBIT D

CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION

Modified Entitlements per S_2020-0001, DEV_2020-0001 and AP_2022-0034 including: Amended Vesting Tentative Map dated March 2025; Modified Phasing Plan; Modified Design Guidelines; Preliminary Landscape Site Plan & Planting Plan, Reductions in Development Standards per State Density Bonus Law; Administrative Permit; Inclusionary Housing Plan; Restated Inclusionary Housing Agreement; Second Restated Development Agreement - (the "Second Modified Project")

A. GENERAL CONDITIONS

1. This approval is subject to all of the applicable terms and conditions of the Second Restated Development Agreement for the Second Modified Project as approved by the Board of Supervisors. If any of these conditions of approval is in conflict, or is inconsistent, with any term or condition of the Second Restated Development Agreement, then any such condition shall be deemed waived or satisfied and the Second Restated Development Agreement shall control.
2. All mitigation measures from the certified Environmental Impact Report for the Garden's Gate Subdivision ("Garden's Gate EIR") as modified by the Addendum for the Garden's Gate Subdivision ("EIR Addendum"), and as further modified by the Second Addendum for the Garden's Gate Subdivision ("Second EIR Addendum") as described in the Amended Mitigation Monitoring & Reporting Program ("Amended MMRP"), shall be implemented as conditions of approval, and are incorporated herein by reference.
3. This approval is based upon all conditions of approval set forth herein, including mitigation measures and specified plans and agreements included by reference, as well as all applicable County rules and regulations. Any deviations from these Conditions of Approval must be reviewed and approved by the Director of Planning and, where specified, the Director of Transportation for conformity with this approval. Deviations may require changes to the project approvals and/or further environmental review. Deviations without the above-described review and approval will constitute a violation of permit approval.
4. Prior to performing any work within the Cleland Mountain Creek floodplain, Applicant shall secure all applicable permits from the California Department of Fish and Game, the U.S. Army Corps of Engineers, as well as any other agencies which may have control or authority.
5. Any proposed work within County rights-of-way shall require an encroachment permit from the Mendocino County Department of Transportation.
6. The Applicant shall be responsible for the repair of any damage to the County Maintained Road System in the immediate vicinity of the site that is attributable to hauling of material and equipment in connection with subdivision grading and construction activities. Repairs must be performed to the satisfaction of the Director of Transportation. Evidence of preconstruction condition of the County Maintained Road System shall be established by the County and/or Applicant, through photographs, notes and any documentation necessary, prior to issuance of the first grading permit, and prior to issuance of the Subdivision Improvement Agreement for each phase of the Second Modified Project.
7. The Applicant shall ensure that potential contractors are aware of the site rules, restrictions, Conditions of Approval, and mitigation measures.

B. CONDITIONS RELATING TO SUBSEQUENT FINAL MAPS

8. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a street naming plan for the entire Second Modified Project that identifies the name of each street based on the list of street names submitted by the Applicant. The final street naming plan shall be reviewed by the County's address coordinator. Street names shall be indicated on each Subsequent Final Map.

EXHIBIT D

CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034

9. Prior to recordation of the first Subsequent Final Map, the Applicant shall provide the County with proof that a Homeowners Association representing all property owners of the Project, or other oversight instrument as approved by the County, has been formed. Title to the common open space, parks, private roads, common driveways, streetscape parkways and landscaping, drainage easements, and the Riparian Enhancement Area along Cleland Mountain Creek shall be held by the Homeowners Association or other oversight instrument as approved by the County.
10. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a set of covenants, conditions, and restrictions (CC&Rs) for the review and approval of Director of Planning and County Counsel.
 - a. The CC&Rs shall ensure the on-going maintenance of all storm drainage facilities located outside of the street right of ways accepted into the County Maintained Road System, private roads, common driveways, parks and common open space areas, streetscape parkways and landscaping, and the drainage easement and Riparian Enhancement Area along Cleland Mountain Creek.
 - b. The CC&Rs for the senior housing component shall ensure that the development complies with the requirements of Civil Code Section 51.3 regarding age-restrictions and the requirements of Civil Code Section 51.2 regarding accessibility standards and the provision of common facilities.
 - c. The CC&Rs for the Neighborhood Park shall establish regulations pertaining to the types of public uses of the park, as well as governing hours, nuisances and other operational considerations. Hours of operation shall be generally from dawn until dusk.
 - d. The CC&Rs shall include a provision stipulating that the County shall be a third-party beneficiary of the CC&Rs, with the right, but not the obligation, to enforce provisions of the CC&Rs. Any modification of the CC&Rs relating to permitted uses, or the design, establishment, maintenance or repair of common areas is subject to the consent of the County, which consent shall not be unreasonably withheld.
11. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit for the review and approval of the Director of Planning and County Counsel, a "Publicly Accessible Private Open Space Easement Agreement" that grants to the County a non-exclusive public access and use easement on, over and across the Neighborhood Park. The Agreement shall establish the responsibility of the Homeowners Association, or other oversight instrument as approved by the County, to maintain the Neighborhood Park parcel and, to repair and replace, at its sole cost and expense, all facilities and improvements on the Neighborhood Park parcel.
12. Prior to recordation of the first Subsequent Final Map, the Applicant shall submit a conceptual plan for the review and approval of the Director of Planning that identifies the locations of the affordable housing parcels throughout the entire Project Site. The identified parcels for affordable housing may only be modified with the written approval of the Director of Planning, which approval shall not be unreasonably withheld.
13. The Subsequent Final Map for the first phase shall establish a front yard setback along Charlie Barra Drive on Lots 1. Driveway access to Lots 1, 9, 10, 14, 152, and 161 through 166 shall not be permitted from Charlie Barra Drive.
14. Pursuant to Mitigation Measure 3.2-D.2, a minimum 100-foot setback from Cleland Mountain Creek shall be established on Parcel M.

EXHIBIT D

CONDITIONS OF APPROVAL: BELLA VISTA SUBDIVISION
S_2020-0001, DEV_2020-0001, AP_2022-0034

15. Pursuant to Mitigation Measure 3.3-A.1, a Riparian Enhancement Area shall be established on Parcel M and Applicant shall record a Declaration of Environmental and Land Covenants in conjunction with recordation of the Subsequent Final Map(s) for the phase(s) of the subdivision that include the area encompassed by Parcel M as shown on the Amended Vesting Tentative Map dated March 2025.
16. Pursuant to Government Code Section 66492 & 66493, prior to recordation of each Subsequent Final Map, the Applicant must: (1) Obtain a Certificate from the Mendocino County Tax Collector stating that all current taxes and any delinquent taxes have been paid, and (2) Pay a security deposit (or bond) for taxes that are a lien, but not yet due and payable.
17. A note shall appear on Subsequent Final Maps that "Development within the flood plain as identified on this map, is subject to those restrictions in the Flood Plain Regulations of the Mendocino County Code."
18. A note shall appear on Subsequent Final Maps and on all grading and construction plans for the Second Modified Project as follows: "Access Road, driveway and interior circulation routes shall be maintained in such a manner as to ensure minimum dust generation subject to Air Quality Management District Regulation 1 Rule 430. All grading must comply with Air Quality Management District Regulations Rule 430. Any rock material, including natural rock from the property, used for surfacing must comply with Air Quality Management District regulations regarding asbestos content."
19. A note shall appear on Subsequent Final Maps and on all grading and construction plans for the Second Modified Project as follows: "In the event that archaeological resources are encountered during development of the property, work in the immediate vicinity of the find shall be halted until all requirements of Chapter 22.12 of the Mendocino County Code relating to archaeological discoveries have been satisfied."
20. Pursuant to provisions in Section 17.43(D)(6) of the County Division of Land Regulations, all areas within the Second Modified Project subject to inundation in the event of a "100-year" storm event shall be clearly identified on applicable Subsequent Final Map(s). Data shown on the Subsequent Final Map(s) shall be supported and verified by a report prepared by a registered civil engineer and submitted to the Department of Transportation concurrently with final map check prints. The report shall take into account any grading to be utilized to raise the ground elevation above the base flood elevation.
21. In conjunction with recordation of each Subsequent Final Map, an avigation easement, in a form and content acceptable to County Counsel, shall be recorded on all parcels that lie partially or wholly within Compatibility Zones 2 and 3 as defined in the Ukiah Municipal Airport Land Use Compatibility Plan.
22. Each Subsequent Final Map shall include a statement, per Section 17-41(C)(8) of the County Division of Land Regulations that: "The Subdivision improvements, including but not limited to streets, drainage facilities, and utilities to be made or installed can be constructed in accordance with applicable standards without encroaching upon lots or parcels not specifically designated for that purpose."
23. Each Subsequent Final Map shall contain "...approximate curve radii of all proposed streets within the division of land." The standard radius for the knuckles proposed is 43' minimum. Minimum centerline horizontal curve radii for all roads shall be 125 feet. Minimum curb return radii at all intersections shall be 25 feet.
24. A note shall be added to the Subsequent Final Map(s) upon which Lots 1, 9, 10, 14, 152, and 161 through 166 are recorded and a deed restriction shall be recorded on Lots 1, 9, 10, 14, 152, and 161 through 166 prohibiting the establishment of driveway access from the subject parcels on to Charlie Barra Drive.

EXHIBIT D

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S_2020-0001, DEV_2020-0001, AP_2022-0034

25. A note shall be added to the Subsequent Final Map(s) upon which Lots 1, 9, 10, 14, 152, and 161 through 166 are recorded to require that fencing for the yards of Lots 1, 9, 10, 14, 152, and 161 through 166 (i.e., along the Charlie Barra Drive street frontage) shall either conform to the front yard fencing standards in the County Code or, if 6' fencing is specified, it shall be setback a minimum of 5' from the public right-of-way and shall be screened by shrubs and trees to establish an attractive gateway to the neighborhood. The Master Landscape Plan for the Charlie Barra Drive frontage of these parcels shall be submitted for review and approval by the Director of Planning prior to approval of the Subsequent Final Map(s).

C. CONDITIONS RELATING TO SUBDIVISION IMPROVEMENTS

26. Prior to approval of the first Subsequent Final Map, the Applicant shall execute with the County an agreement for all subdivision improvements, including parks and trails, and furnish the required bonds or other improvement securities and insurance coverages. Performance, labor and materials bonds (or other financial instruments deemed acceptable by County) shall remain in place until subdivision improvements are completed and accepted by County, at which time Applicant shall enter into a two-year warranty and maintenance agreement.
27. All improvements to be dedicated to County shall be free of any liens or encumbrances.
28. Any additional right of way that may be needed for development of subdivision access improvements along South State Street corridor, including frontage improvements, the two access streets onto the project site, and the Roundabout within the South State Street corridor shall be dedicated to the County in fee simple and with all costs borne by the Applicant and/or subsequent grantees.
29. Subdivision improvements shall include streets, parks and trails, drainage facilities and the extension of sanitary sewer, water and public utility (electricity, telephone, and cable television) services to each parcel. All utilities installed within the subdivision shall be placed underground with the exception of vaults and/or meters which shall be placed underground where feasible. If vaults and/or meters are not undergrounded, they shall be sited in unobtrusive locations and/or screened in order to maintain the overall aesthetics of the Second Modified Project. Street lighting shall also be installed, and all luminaries shall be downward shielded.
30. Construction, landscaping and irrigation plans for Neighborhood Park shall be submitted for the review and approval of the Director of Transportation and the Director of Planning as part of the Subdivision Improvement Plans for Phase 1. Landscaping and irrigation plans for the Neighborhood Park may be handled as a "deferred submittal" to be approved and constructed prior to completion of the first final inspection for a residence in the Phase of the Second Modified Project that is linked to the Neighborhood Park.
31. All subdivision improvements located within each Phase of the Second Modified Project shall be completed prior to completion of the first final inspection for a residence in that Phase. An exception may be granted by the Director of Planning whereby the landscape, hardscape and furnishings for the Neighborhood Park may be completed with Phase 2 if the Roundabout is constructed concurrently with Phase 1.
32. The Subdivision Improvements Plans shall be generally consistent with the approved Preliminary Landscape Site Plan & Planting Plan. Street and park landscaping, hardscape, lighting and irrigations plans shall be subject to review and approval of the Director of Planning, with consultation from the Department of Transportation and UC Cooperative Extension.
33. The Subdivision Improvement Plans for the Senior Neighborhood shall include, at a minimum a covered pavilion within the Cottage Park that is a minimum of 630 square feet in size and includes an outdoor ceiling fan, electric space heater(s), lighting and a counter with a grill. Moveable partitions

EXHIBIT D
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shall be provided so that the pavilion can be enclosed in inclement weather. If additional lots are placed within the Senior Neighborhood, the size of the covered pavilion shall be increased by 15 square feet per additional lot.

34. The pathways in the Linear Park and the Neighborhood Park as well as the connectors between the neighborhood park and nearby sidewalks shall be constructed of concrete. A minimum pathway width of 7' is required.
35. The Roundabout on South State Street at the Project entry shall be completed before the final building inspection for the 100th housing unit in the Second Modified Project. As an interim measure prior to completion of the Roundabout, Applicant shall install a northbound left-turn lane on State Street at the site entry.
36. Plans for the design of Roundabout (including center landscaping and any monument sign) shall be submitted to the Director of Transportation for review and approval prior to construction of the Roundabout.
37. Subdivision improvement plans shall be accompanied by a design soils report prepared by a geotechnical engineer or qualified civil engineer and shall: identify soil conditions and geological hazards to be considered in the road design; make specific recommendations to be incorporated in the design and construction of the road; and make specific recommendations on measures required to minimize erosion during and after construction.
38. All subdivision improvement plans shall include cross-sections with templates at a maximum interval of 50 feet. Subdivision improvement roadway plans shall include cross-sections at a maximum interval of 50 feet.
39. Subdivision roads to be accepted into the County Road System shall be designed and constructed in accordance with procedures prescribed in the County Division of Land Regulations, and the following design standards unless an exception is granted by the Director of Transportation:

Minimum Right of Way Width	50 Feet
Minimum Street Width (curb to curb)	36 Feet
Minimum Radius of Curb Return	25 Feet
Minimum Radius of Right of Way at Knuckle	50 Feet
Minimum Street Radius at Knuckle (to face of curb)	43 Feet
Minimum Radius Curb Return at Cul-de-Sac	40 Feet
Maximum Grade	16 Percent
Minimum Grade	0.5 Percent
Minimum Traffic Index	6.5
Minimum Thickness of Asphalt Concrete Surfacing	3 Inches

40. Street improvements shall include concrete curb and gutter and minimum 5-foot wide concrete sidewalks on both sides. A minimum 5-foot wide public utility and sidewalk easement shall be provided on both sides of the road. The public subdivision roads, as identified on the Amended Vesting Tentative Map dated March 2025, shall be offered for dedication and accepted into the County Maintained Road System. The Homeowners Association or other oversight instrument as approved by the County shall retain responsibility for maintenance, irrigation and replacement of all street landscaping.

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S_2020-0001, DEV_2020-0001, AP_2022-0034

41. All private roads, as identified on the Amended Vesting Tentative Map dated March 2025, shall be improved in accordance with County of Mendocino Road and Development Standards drawing A10F Reduced Section unless an exception is granted by the Director of Transportation.
42. A 43-foot radius turnaround shall be constructed within a 50-foot radius easement at the terminus of the Charlie Barra Drive near lots 40 and 41 to the satisfaction of the Mendocino County Department of Transportation. Alternatively, Applicant, with approval from the local fire district, may construct a "Hammerhead-T" turnaround in accordance with County of Mendocino Road and Development Standards drawing A15.
43. Subdivision improvement plans shall be accompanied by a drainage report prepared by a Civil Engineer. The report shall provide hydrology and hydraulic data necessary to support the design, location and capacity of all proposed drainage facilities necessary for compliance with Mendocino County Road and Development Standards and Section 17-57(C) of the County Division of Land Regulations. This drainage report shall also include the location, capacity analysis and condition assessment of all existing drainage channels and structures receiving runoff from the subdivision.
44. Subdivision improvement plans shall include all storm drainage, detention/retention facilities designed in general conformance with the Stormwater Control Plan dated March 2021. The drainage facilities shall be installed within appropriate easements or dedicated parcels and shall be sufficient to mitigate the increase in runoff resulting from the 10-year storm event on site. The plans shall be accompanied by calculations prepared by the design engineer to verify this mitigation. Drainage plans shall be subject to the review and approval of the MDOT and Regional Water Quality Control Board. A General Construction Activity Storm Water Permit shall be secured.
45. All roadway and drainage improvements shall be constructed in conformance with Mendocino County Road and Development Standards, typical road sections as shown on the Amended Vesting Tentative Map dated March 2025 (unless an exception is granted by the Director of Transportation), mitigation measures included in the approved Amended Mitigation Monitoring & Reporting Program, and improvements plans prepared by a Registered Civil Engineer and approved by the Mendocino County Department of Transportation (MDOT).
46. Drainage improvements shall include design features as needed to adequately conduct runoff from completed phases across future phases to a satisfactory point of disposal.
47. Surface drainage facilities appurtenant to the subdivision roads shall be designed and constructed in accordance with the following minimum standards:
 - a. Culverts, storm drains and detention facilities shall be designed to accommodate a 100-year storm event using all available head at the inlet; Drainage placed in closed conduits may be designed to accommodate a 10- year storm event given that sufficient additional surface routes are available to carry the added flow increment up to the 100-year storm event design discharge without flooding the traveled way and with no inundation of present or future buildings. If such surface routes cannot be made available, waterways shall be designed to carry the 100-year design discharge.
 - b. Minimum culvert and storm drain size shall be of sufficient width to allow for maintenance and replacement of drainage facilities, shall be RCP or an acceptable alternative material, and shall be subject to the approval of Mendocino County Department of Transportation and shall be shown on the Final Map.
 - c. Drainage easements for culverts shall have a minimum width of 10 feet;

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- d. Drainage easements for ditches shall have a minimum width of 20 feet unless an exception is granted by the Director of Transportation;
 - e. Minimum allowable ditch/curb and gutter grade shall be 0.5 percent;
 - f. Special erosion control measures will be required where ditch grade exceeds 5 percent.
48. The Applicant and/or subsequent grantees shall either (1) submit to the Division of Environmental Health a letter from the district(s) or agency(s) stating that water and/or sewer services (and main extensions, where required) have been installed to the satisfaction of the district or agency to serve each lot in said subdivision and connected to the system providing the services(s) and have been accepted by the district or agency for maintenance by said district or agency (Mendocino County Code 17.55 & 17.56); or (2) the Applicant shall submit a letter to the Division of Environmental Health from the district(s) or agency(s) stating that engineered improvement plans for the future installation of services (and main extensions, where required) for each lot and the connection to the system providing the service are acceptable to the district, including maintenance of the system by the district and the Applicant shall submit a letter to Division of Environmental Health from the County Engineer stating that performance bonds or other adequate surety have been secured, to the satisfaction of the county engineer, to cover the cost of the installation of services (and main extensions, where required) for each lot and the connection to the system providing the service per Mendocino County Code Chapter 17 Article VIII.
49. All monuments set in connection with the survey for this subdivision shall conform with the provisions of the Land Surveyors Act of the State of California and the provisions of Section 17-72 of the County Division of Land Regulations. Applicant shall be responsible at Applicant's expense to preserve street centerline, property line and corner markers, except where their destruction is unavoidable, and the Applicant is proceeding in accordance with accepted practice and notice to the County. Lost or disturbed monuments shall be replaced at the Applicant's expense by a professional licensed in California to practice land surveying. (see "Monuments," Section 8771, Land Surveyors Act, Division 3, Chapter 15 of the Business and Professions Code).

D. CONDITIONS RELATING TO ISSUANCE OF GRADING AND BUILDING PERMITS

50. Minimum elevations of building pads shall be constructed at or above the 100-year base flood elevation. The finished floor elevation of all residential structures shall be a minimum of one (1) foot above the (100 year) base flood elevation. All residential structures built within the designated (100 year) base flood hazard area shall have their finished floor elevations certified by elevation certificate with FEMA and the County of Mendocino. Building pads are defined as the area within the building footprint of the residential structure.
51. All building pads shall be located inside the building setback lines on each lot as shown on each approved Subsequent Final Map.
52. All residential development shall be consistent with the approved Design Guidelines Manual, as amended by the Board of Supervisors to allow for up to 3,000 square foot single-family homes in the Traditional Neighborhood. Consistency shall be determined by the Director of Planning prior to issuance of building permits.
53. Applicant shall amend the Planting Plan to provide intermittent plantings along the north side of the proposed "good neighbor fence" on the Applicant's property. The Planting Plan shall be subject to the review and approval of the Planning Director.
54. No heavy equipment or construction vehicles may be parked on Gobalet Lane. Heavy equipment shall take access to the project site from South State Street.

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55. The Subdivision Improvement Plans shall include the following:
- a. The Preliminary Landscape Site Plan & Planting Plan shall be modified to include larger regionally-appropriate trees.
 - b. Roof sheathing shall include a radiant barrier and roofing materials shall meet Energy Star Cool Roof standards.
 - c. Install utilities and vaults within the sidewalk or at the residence side of the sidewalk. Locations shall be subject to approval by the utilities.
 - d. Install root guards or over-excavate to direct roots downward.
 - e. The landscape irrigation system in the three parks shall be designed to provide space for potential future connection to Purple Pipe recycled water supply.
56. The Applicant shall submit a request for a Tab H Exception to the Director of Transportation if the increase in sidewalk width or planter width is to be accommodated by a reduction in the standard road width.

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Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
GEOLOGY					
3.1-A: Improvements built on the site would be subject to seismic ground shaking, which could cause the failure of those improvements and risk to human health.	3.1-A.1: A final geotechnical report shall be prepared that incorporates the recommendations set forth in the 2005 RGH Report as modified by mitigation measures recommended in this EIR. The project applicant shall design project structures and foundations to withstand expected seismic forces in accordance with the California Building Code as adopted by the County of Mendocino. Since the project site is located within Seismic Zone 4 it is considered potentially seismically active. The County shall not issue building permits until seismic design criteria are reviewed and approved. During construction adherence to design criteria shall be monitored, and a final report issued documenting conformance prior to occupancy.	Project Engineer Project Geotechnical Consultant	Issuance of Building, Grading or Other Permits	Mendocino County Dept. of Planning & Building Services (Planning Dept.)	Planning Dept. Approval of Final Map
3.1-B: Seismically induced ground failure, including liquefaction and densification, would cause improvements to fail and risk to human health.	3.1-B.1: Potentially unstable surface soils shall be remediated by strengthening the soils during site grading. The strengthening will be achieved by excavating the weak soils and replacing them as properly compacted engineered fill. All site grading and foundation construction shall follow the recommendations of the Geotechnical Engineer of record for the project. The process will include excavation of surface soils and placement of all fill soils at a minimum of 90 percent compaction relative to the maximum dry density near the optimum moisture content as determined in accordance with ASTM D 1557.	Project Engineer	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Prior to building construction

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	Site soils will be tested during construction by the Geotechnical Engineer-of-Record or by a Special Inspector to confirm that minimum standards are met. A final report documenting results of fill testing will be submitted to the County of Mendocino Department of Planning and Building Services and will be subject to the review of that department.				
3.1-C: Potentially unstable slopes or underlying soils could cause the failure of improvements and risk to human health.	3.1-C.1: Cut and fill slopes should be designed and constructed as slope gradients of 2h:1v or flatter, unless otherwise approved by the Geotechnical Engineer-of-record in specified areas. The interior slopes of the retention basin should be inclined no steeper than 3h:1v. If steeper slopes are required, retaining walls shall be used. Fill slopes steeper than 2h: 1v will require the use of a Geogrid reinforcing material to increase stability. Fill slopes shall be constructed by over-filling and cutting the slope to final grade. Graded slopes shall be planted with fast-growing, deep-rooted groundcover to reduce sloughing and erosion. Fills placed on terrain sloping at 5h:1v or steeper shall be continually keyed and benched into firm, undisturbed bedrock or firm soil. The benches shall allow space for the placement of select fill of even thickness under settlement sensitive structural elements supported directly on the fill.	Project Engineer Project Geotechnical Consultant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Prior to building construction

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	3.1-C.2 Retaining walls shall be designed to retain planned cut slopes for the hillside lots that exceed 2h:1v in slope steepness. These cuts are planned to be as great as 13 feet in height. The Geotechnical Engineer-of-record shall provide revised recommendations for retaining walls if needed to meet current building code requirements. All retaining walls shall be designed by a State of California Registered Civil Engineer in accordance with requirements of the current edition of the California Building Code including seismic design considerations. Retaining wall design shall be reviewed by the County of Mendocino Department of Planning and Building Services to ensure conformance with state and local building code requirements.	Project Engineer Project Geotechnical Consultant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Prior to building construction
	3.1-C.3: Plan Review will be performed by the County of Mendocino Department of Planning and Building Services to ensure conformance with grading and drainage requirements. The Geotechnical Engineer-of-Record shall prepare a geotechnical review letter documenting that plans meet with the intent of geotechnical recommendations.	Project Geotechnical Consultant	During Construction	Planning Dept.	Planning Dept. Prior to building construction
	3.1-C.4: The Geotechnical Engineer-of-Record and/or Special Inspector shall perform construction observation and testing to ensure conformance with design requirements and geotechnical	Project Geotechnical Consultant	During Construction	Planning Dept.	Planning Dept. Completion of building construction

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	<p>recommendations. Testing and monitoring shall include:</p> <ul style="list-style-type: none"> • Verification of compaction requirements for engineered fill and subgrade soils. Unless otherwise stated all engineered fill shall be compacted to at least 90 percent of the maximum dry density at moisture contents above the optimum in accordance with ASTM D 1557 test method. Subgrade beneath foundations and pavement sections shall be additionally compacted to at least 95 percent of the maximum dry density at moisture contents near the optimum. • Verification of the installation of subsurface drainage in accordance with project plans and specifications. • Verification that footings are excavated into stable material and footing excavations are of sufficient depth and breadth to adequately support structures with minimal or no settlement. • Materials Testing and Special Inspection of concrete, steel, asphalt, wood members and other structural elements to establish conformance with the design standards. • Verification of correct installation of erosion control measures and adherence to the requirements of the approved Stormwater Pollution Plan (SWPPP) for the project. 				

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3.1-D: Expansive soils on the site could cause the failure of improvements and risk to human health.	3.1-D.1: Where spread footings are chosen for foundation support, weak, porous, compressible and locally expansive surface soil shall be excavated to within 6 inches of their entire depth. Excavation of weak, compressible, and locally expansive soils shall extend a minimum of 12 inches below exterior concrete slabs and/or asphalt concrete pavement subgrade. These soils shall be replaced with select fill material. Additionally, excavation of weak, porous, compressible, expansive, creep-prone surface materials shall extend at least 5 feet beyond the outside edge of exterior footings of the proposed buildings and 3 feet beyond the edge of exterior slabs and or pavements. These soils shall also be replaced with select fill material as described below. Select fill material shall be free of organic matter, have a low expansion potential, and conform in general to the following requirements: 100% passing 6" sieve; 90-100 % passing the 4" sieve; 10-60% passing the No. 200 sieve (all percentages by dry weight); LL - 40 max; PI - 15 max; R-value - 20 min. The Geotechnical Engineer - of - Record shall approve imported material prior to use as compacted fill.	Project Engineer Project Geotechnical Consultant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of building construction
HYDROLOGY & WATER QUALITY					
3.2-A: Development of the project would create new impervious	3.2-A.1: The project shall not cause flooding downstream of the project site, and post-development peak flows discharged to the 18-inch CMP storm drain beneath South State Street shall	Project Engineer	Final Map approval	Mendocino Water Agency	Mendocino Water Agency and Planning Dept.

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surfaces, increasing the rate and amount of stormwater runoff. This runoff could contribute to flooding in the vicinity of the project site.	not exceed pre-development peak flows. At final project design, the applicant shall calculate the amount of runoff that will be generated by the developed portions of lots that drain into Cleland Mountain Creek and factor that increase into the analysis performed by Sandine and Associates to determine whether peak flow rates will remain below pre-development levels and the risk of flooding in the project site and off-site downstream will not be increased. If the post-project peak flow rates exceed the pre-development levels, the applicant shall increase the volume of the detention basin capacity to achieve the target peak flow discharge. The 18-inch storm drain facility beneath South State Street shall be located, inspected by video camera or other method, and a report submitted to the County Department of Transportation at the time of the final design of the subdivision storm drainage system, substantiating the adequacy of the existing facility to accommodate the design runoff or recommending improvements necessary to the facility to adequately accommodate project runoff. Those recommendations shall be constructed.			(Water Agency) Mendocino County Department of Transportation	Mendocino County Department of Transportation Final Map approval
	3.2-A.2: As part of the Development Agreement, establish a Homeowners Association (HOA) maintenance agreement that details the provisions for regular monitoring of the detention pond storage capacities, as well as requirements for detention pond cleanouts, when necessary, to maintain design stormwater storage levels.	Project Engineer	Approval of Development Agreement	Planning Dept.	Planning Dept. Prior to construction

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	Establish a monitoring protocol that is acceptable to the County that monitors implementation of this maintenance, including a bond or other funding agreement that reimburses the County if the County is required to conduct required maintenance due to the HOA not implementing required maintenance.				
3.2-B: Project development would result in the construction of four residential lots in the FEMA- designated 100- year floodplain of Cleland Mountain Creek.	3.2-B.1: The project shall not result in flooding of residences on the project site. To minimize the risk of flooding during the FEMA-designated 100-year base flood, the applicant shall implement one of the following alternatives: A) Re-design the grading plan for Lots 20-21 and 196-197 in the vicinity of Cleland Mountain Creek so that building finished floor elevations are a minimum of one foot above the land surface elevations inferred by the FIRM Zone A SFHA mapping, or B) Prepare a Letter of Map Revision (LOMR), accompanied by the appropriate technical documentation, and submit it to FEMA (or its sponsored contractor), to petition for a change in the FEMA SFHA designation for the project site. Required technical documentation would include an updated flood backwater profile modeling of Cleland. Creek, including the proposed Plant Road bridge crossing, which was excluded from	Project Engineer	Final Map approval	Planning Dept. Water Agency	Planning Dept. Prior to Final Map

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	<p>the original HEC-RAS analysis conducted for the project by Sandine Associates.</p> <p>If the modeling results verify that the published FEMA mapping is inaccurate and that Lots 20-21 and 196-197 are outside of the redefined SFHA, then the lots could be developed as proposed, subject to possible regulatory restrictions or conditions imposed by the California Department of Fish and Game (CDFG) and the Mendocino County Water Agency (MCWA) for disturbance of the riparian corridor. If the modeling results verify that the published FEMA flood mapping was accurate, then Alternative A would be required for development of the lots.</p> <p>The same potential regulatory restriction or conditions imposed by CDFG or the MCWA would apply.</p>				
<p>3.2-C: Project development would result in the clearing of land for the proposed site improvements. During and after project construction exposed slopes will be at increased risk of erosion. Site erosion could</p>	<p>3.2-C.1: The project shall not cause significant erosion. The applicant shall submit a detailed Erosion Control Plan as part of the Stormwater Pollution Prevention Plan (SWPPP) to the Mendocino County Water Agency (MCWA) and to the State Water Resources Control Board (SWRCB), in conjunction with the filing of a Notice of Intent (NOI) with the SWRCB. The County shall not issue a Grading Permit until the County Water Agency agrees that the plan contains adequate Best Management Practices for controlling</p>	Project Engineer	Issuance of Building, Grading or Other Permits	Water Agency SWRCB	<p>Water Agency SWRCB</p> <p>Plan verified at approval of Grading Permit</p> <p>Implementation verified at completion of construction</p>

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<p>prematurely decrease the storage capacity of the vault detention system. The construction of the proposed bridge crossing over Cleland Mountain Creek would also create conditions for the discharge of fill into Waters of the United States.</p>	<p>erosion. At a minimum, the Erosion Control Plan shall include the following restrictions, guidelines, and measures:</p> <p>(1) grading and earthwork shall be prohibited during the wet season (typically October 15 through April15) and such work shall be stopped before pending storm events during the spring fall construction season; (2) erosion control/soil stabilization techniques such as straw or wood mulching, erosion control matting, and hydroseeding, or their functional equivalents shall be utilized in accordance with applicable manufacturers specifications and erosion control Best Management Practices (BMPs) published in the California Stormwater BMP Handbook - Construction (California Stormwater Quality Association 2005) and/or similar proscriptions outlined in the Erosion and Sediment Control Field Manual (SF Bay RWQCB 2002); (3) bales of hay or accepted equivalent methods shall be installed in the flow path of graded areas receiving concentrated flows, as well as around storm drain inlets; (4) installation of silt fencing and other measures to segregate the active flow zone of Cleland Mountain Creek from the near overbank disturbance associated with bridge abutment construction; and (5) post-construction stormwater treatment measures.</p> <p>These and other erosion control BMPs shall be monitored for effectiveness and shall be subject to inspection by the County. The applicant shall be</p>				

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	responsible for implementing any remedial actions recommended by the County. After construction is completed, all drainage facilities shall be inspected for accumulated sediment, and these drainage structures shall be cleared of debris and sediment. Silt fence shall be left in place until the hydroseed has become established.				
3.2-D: Project implementation would increase the area devoted to both paved (roadway and driveway) surfaces and maintained landscaping. Episodic discharge of stormwater contaminated with heavy metals could detrimentally affect downstream water quality. Residential lot development would be accompanied by increased application of fertilizers and chemicals (such as herbicides and pesticides).	3.2-D.1: The project shall not cause substantial pollution of Cleland Mountain Creek or the Russian River. The applicant shall prepare an NOI and SWPPP for the project, and incorporate the following additional site-appropriate BMPs or their equivalents for short- and long-term implementation by the Homeowners Association (HOA) and/or individual lot owners, in order to comply with the requirements of the NPDES General Permit and provisions of the Mendocino County Storm Water Management Program. The BMPs will result in stormwater leaving the site at least meeting the NCRWQCB water quality objectives for the Russian River. The SWPPP shall be approved by the Mendocino County Water Agency and the State prior to project construction. Impervious surfaces shall be minimized by using such techniques as driveway strips with bordering pervious pavement material (rather than a full paved driveway); using pervious materials for parking areas; directing runoff from rooftops and	Project Engineer	Issuance of Building, Grading or Other Permits	Water Agency Planning Dept. SWRCB	Water Agency SWRCB Plan verified at approval of Grading Permit Implementation verified at completion of construction

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	<p>streets to landscaping buffers and/or recharge trenches.</p> <p>These and other BMPs shall be monitored for effectiveness and shall be subject to inspection by the County. The Homeowners Association shall be responsible for implementing any remedial actions recommended by the County. The applicant shall establish a monitoring protocol that is acceptable to the County that monitors implementation of these measures, including a bond or other funding agreement that reimburses the County if the County needs to conduct required maintenance due to the HOA not implementing required maintenance. The County can require that monitoring be done by a third party acceptable to the County; costs of all monitoring and any maintenance will be borne by the Homeowners Association.</p> <p>Since the objective of erosion control and water quality treatment measures would be to reduce contaminant loading to the maximum extent practicable with implementation of the best available technologies, the recommended BMPs are not fixed. Other measures can be applied as long as the applicant can demonstrate to the satisfaction of MCWA that those measures can provide equivalent levels of reduction in contaminant loading.</p> <p>The applicant shall prepare a plan that describes the roles and responsibilities of the HOA, lot</p>				

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	owners, and/or the County for implementing the BMPs and monitoring the results. If the County will be responsible for monitoring or implementing any actions, then a funding mechanism will be established. The County will review and approve this plan prior to the onset of construction.				
	3.2-D.2: Per the recommendations of the CDFG, Lot 4 of Tract 261 shall be removed from the project in order to provide the minimum creekside buffer required to filter contaminants, including sediment, from stormwater runoff. A minimum 100-foot setback from Cleland Mountain Creek shall be established on Parcel M.	Project Engineer	Prior to issuance of first Final Map	Planning Dept.	Planning Dept. Prior to issuance of first Final Map
3.2-E: The project plus other cumulative development could adversely affect the water quality of the Russian River.	Mitigation Measures for Impacts 3.2-C and 3.2-D also apply to this impact.	See the cited measures.			
BIOLOGICAL RESOURCES					
3.3-A: Project development could adversely affect water quality thereby indirectly	3.3-A.1: The applicant shall preserve water quality in Cleland Mountain Creek. A Riparian Enhancement Area that includes Parcel M and Lot 4 of Tract 261 shall be established to include all areas within a setback of 20 feet from the top of	Project Applicant	Final Map for Phase in which lots are located	Planning Dept.	Planning Dept. Approval of Final Map for

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affecting listed salmonid species.	bank of this creek and deed restricted to prohibit grading, tree cutting, trash deposition, landscaping other than natural habitat restoration, storage of materials, filling, structures, dumping of chemicals, or disruptive activities. The applicant shall replant the Riparian Enhancement Area. The planting and maintenance of the plantings shall be conducted per a plan prepared by a qualified biologist. The replanting shall include riparian species along the creek and oaks, bay, and buckeye further from the creek. The plan shall include the planting of at least three replacement trees (of the same species as the tree removed) for each oak, bay, buckeye, and Oregon ash that is removed. Within the 20-foot riparian habitat setback, appropriate native ground covers and shrubs will also be established to filter runoff from developed portions of nearby lots. All plantings established under this plan shall be irrigated and replaced as needed as well as monitored by the plan preparer for a period of no less than 3 years to ensure successful establishment. The Riparian Enhancement Area shall be maintained by the HOA pursuant to this plan.				Phase in which lots are located
	3.3-A.2: Construction activities within Cleland Mountain Creek shall be limited to the dry season when no flowing water is present in the channel. Channel disturbance shall be kept to a minimum during construction activities within the channel and only occur within designated areas.	Project Applicant	Prior to initiation of construction within Cleland Mountain	Planning Dept.	Planning Dept. During construction activities

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Impact	Mitigation Measure	Implemented by	Implemented when	Monitored by	Verified by and date
			Creek channel		
	3.3-A.3: When water is present within Cleland Mountain Creek, a qualified biologist shall conduct a clearance survey to determine the presence or absence of western pond turtle individuals immediately prior to the start of work. If western pond turtles are observed where they could be potentially impacted by Project activities, then work shall not be conducted within 100 feet of the turtle(s) until a qualified biologist has relocated the turtle(s) outside of the Project boundary. If turtle eggs are uncovered during construction activities, then all work shall stop within a 25-foot radius of the nest and CDFW shall be notified immediately. The 25-foot buffer shall be marked with identifiable markers that do not consist of fencing or materials that may block the migration of young turtles to the water or attract predators to the nest site. No work will be allowed within the 25-foot buffer until CDFW has been consulted.	Project Applicant Project Biologist	Prior to initiation of construction within Cleland Mountain Creek channel	Planning Dept. CDFW	Planning Dept. Prior to issuance of construction permits
	3.3-A.4: Removal of nesting habitat (for grasshopper sparrows, migratory birds and raptors) from the work area shall only take place between September 1 and January 31 to avoid impacts to nesting birds. If removal of nesting habitat is required during the nesting season, a nesting bird survey shall be conducted by a qualified biologist no more than 5 calendar days prior to disturbance. If an active nest is located,	Project Applicant Project Biologist	Prior to tree removal and/or grading activities between February 1 and August 31.	Planning Dept. CDFW	Planning Dept. Prior to removal of nesting habitat during nesting season.

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	the biologist will coordinate with CDFW to establish appropriate buffers and any monitoring requirements. Removal of existing vegetation shall not exceed the minimum necessary to complete operations.				
	3.3-A.5: A pre-construction/demolition bat survey shall be conducted by a qualified biologist within 5 days prior to the removal of suitable bat habitat (i.e., existing building). Mature trees and the existing outbuilding present on the project site should only be removed between September 16 and March 15, outside of the bat maternity season. Trees should be removed at dusk to minimize impacts to roosting bats.	Project Applicant Project Biologist	Prior to removal of outbuilding and/or tree removal	Planning Dept.	Planning Dept. Prior to removal of outbuilding and/or tree removal
	3.3-A.6: Prior to any discharge or fill material into waters of the U.S., authorization under a Nationwide Permit shall be obtained from the U.S. Army Corps of Engineers, if necessary. For fill requiring a Corps permit, a water quality certification from the Regional Water Quality Control Board shall also be obtained	Project Applicant	Prior to activities requiring said permits	Planning Dept. CDFW ACOE RWQCB	Planning Dept. Prior to approval of any work within Cleland Mountain Creek corridor
	3.3-A.7: Prior to any activities that would obstruct the flow of or alter the bed, channel, or bank of any perennial, intermittent, or ephemeral creeks, notification of streambed alteration shall be submitted to the CDFW, and, if required, a	Project Applicant	Prior to activities requiring said permits	Planning Dept. CDFW	Planning Dept. Prior to approval of any work

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	Lake and Streambed Alteration Agreement shall be obtained.				within Cleland Mountain Creek corridor
3.3-B: Project construction would remove up to 25 oaks.	Mitigation Measure 3.3-A.1 also applies to this impact.	See the cited measure.			
	3.3-B.1: An assessment shall be conducted that determines the area and number of oaks and other native hardwoods that would be removed or adversely impacted as a result of project development on Parcel Mand Lot 4 of Tract 261. Building envelopes on Parcel Mand Lot 4 of Tract 261, as well as driveway and utility connection locations, shall be adjusted if needed to avoid loss or both short-term and long-term adverse effects on native trees. The area outside of these building envelopes shall be deed restricted to require maintenance of existing native trees, and prohibition of lawns and landscaping incompatible with long-term survival of these trees, while allowing pruning and removal of any dead or dying trees, dead limbs and brush, and any clearances required as needed to reduce wildland fire hazard. All removed hardwoods shall be replaced with the same species at a minimum replacement ratio of 3:1 within the 20-foot riparian setback zone along the top of the bank of Cleland Mountain Creek. A minimum 3-year monitoring plan shall	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction implementation

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	track planted trees and replace all that are dead or dying.				
	3.3-B.2: If any of the 11 oak trees are removed, they shall be replaced at a mitigation ratio of 8:1. Trees shall be staked and screened for rodent protection and shall be irrigated for at least 3 years. The mitigation trees shall be located on properties that will be managed and maintained by the HOA.	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction implementation
3.3-D: Project construction would restrict wildlife movement and displace nesting sites.	Mitigation Measure 3.3-A.1 also applies to this impact.	See the cited measure.			
3.3-E: The project plus other proposed new development in the area could have a cumulative impact on Russian River water quality and oak woodlands.	Mitigation Measures 3.2-C.1, 3.2-C.2, 3.2-D.1, 3.2-D.2, and 3.3-A.1 also apply to this impact.	See the cited measure.			
CULTURAL RESOURCES					

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3.4-A: Cultural resources could be damaged or destroyed by project construction.	3.4-A.1: If cultural resources are discovered on the site during construction activities, all earthmoving activity in the area of impact shall be halted until the applicant retains the services of a qualified archaeological consultant. These archaeological sites will be documented (by a professional meeting the Secretary of the Interior qualification standards) on DPR forms and evaluated for their eligibility for the California Register. The archaeological consultant shall identify specific measures to mitigate impacts to the resource if it is deemed eligible for the California Register. Mitigation shall include data recovery operations, protection in situ of deposits, and/or archival research, if appropriate. The applicant shall abide by the recommended proposals.	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction for implementation
	3.4-A.2: In the event that human skeletal remains are discovered, work shall be discontinued in the area of the discovery and the County Coroner shall be contacted. If skeletal remains are found to be prehistoric Native American remains, the Coroner shall call the Native American Heritage Commission within 24 hours. The Commission will identify the person(s) it believes to be the "Most Likely Descendant" of the deceased Native American. The Most Likely Descendant would be responsible for recommending the disposition and treatment of the remains. The Most Likely	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. County Coroner Completion of construction for implementation

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	Descendant may make recommendations to the landowner or the person responsible for the excavation/grading work for means of treating or disposing of the human remains and any associated grave goods as provided in Public Resources Code Section 5097.98.				
3.4-B: Paleontological resources could be damaged or destroyed by project construction.	3.4-B.1: During project grading operations, should any undiscovered evidence of paleontological resources be encountered, work at the place of discovery shall be halted, and a qualified paleontologist shall be consulted to assess the significance of the finds. Prompt evaluations can then be made regarding the finds, and a management plan consistent with CEQA. cultural resources management requirements shall be adopted.	Project Applicant Project Construction Manager during construction	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction for implementation
TRAFFIC AND CIRCULATION					
3.5-C: The proposed roundabout may not be able to accommodate truck and bus traffic.	3.5-C.1: The project applicant shall design the proposed South State Street/Plant Road roundabout to accommodate all existing and anticipated buses and large trucks. Turning template diagrams shall be provided to the County Department of Transportation for the largest bus and trucks anticipated to be using the roundabout.	Project Applicant	Final Subdivision Map or Issuance of Building, Grading or Other Permits	Mendocino County Department of Transportation (DOT)	DOT Approval of Final Subdivision Map

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3.5-F: The project design does not adequately provide for mass transit access.	3.5-F.1 To provide access for project residents to the existing Mendocino Transit northbound bus stop on Plant Road across from the project site, a pedestrian walkway shall be constructed between the proposed roundabout at South State Street/ Plant Road-Charlie Barra Drive and the bus stop. The applicant shall also work with Mendocino Transit Authority to investigate the feasibility of providing a bus stop for southbound bus service within walking distance of the project site.	Project Applicant	Final Subdivision Map or Issuance of Building, Grading or Other Permits	Mendocino County Department of Transportation (DOT)	DOT Approval of Final Subdivision Map
3.5-I: The project plus other new development would generate new traffic that would add congestion to study area intersections.	3.5-I.1: The applicant and/or future site developers shall pay the adopted Ukiah Valley Area Transportation Impact Fee at the time that building permits are issued.	Project Applicant	Building Permits	Planning Dept. Mendocino Council of Governments	Planning Dept. Issuance of Building Permits
AIR QUALITY					
3.6-A: Construction activities associated with development of the project would generate short-term emissions of criteria pollutants, including fine and respirable	3.6-A.1: The project applicant and construction contractor shall for all construction project phases prepare and implement a dust control program to limit construction emissions of PM ₁₀ The program shall include at least the following provisions from MCAQMD Rule 1-430 Fugitive Dust. Because the site is over one acre in size, a Grading Permit must be approved by MCAQMD. and MCAQMD may require additional mitigations.	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction

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particulate matter and equipment exhaust emissions.	a. Covering open bodied trucks when used for transporting materials likely to give rise to airborne dust. b. The use of water or chemicals for control of dust in the demolition of existing buildings or structures. c. All visibly dry disturbed soil road surfaces shall be watered to minimize fugitive dust emissions. d. All unpaved surfaces, unless otherwise treated with suitable chemicals or oils, shall have a posted speed limit of 10 miles per hour. e. Earth or other material. that has been transported by trucking or earth moving equipment, erosion by water, or other means onto paved streets shall be promptly removed. f. Asphalt, oil, water or suitable chemicals shall be applied on materials stockpiles, and other surfaces that can give rise to dust emissions. g. All earthmoving activities shall cease when sustained winds exceed 15 miles per hour. h. The operator shall take reasonable precautions to prevent the entry of unauthorized vehicles onto the site during non-work hours. i. The operator shall keep a daily log of activities to control fugitive dust.				
	3.6-A.2 The proposed development will require the preparation of a detailed grading and erosion control plan subject to review and approval by the County prior to earth moving activities (Municipal	Project Construction Manager	Issuance of Building, Grading or Other	Planning Dept.	Planning Dept.

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	Code section 18.70.060 – Grading Permit Requirements). Grading will be completed in compliance with County standards.		Permits		During and at Completion of construction
	<p>3.6-A.3 Dust control rules and regulations as required by the MCAQMD will be adhered to (Rule 1-200, 1-400(a), 1-410, 1-420, 1-430). These regulations minimize fugitive dust particle during construction. Measures imposed by the MCAQMD include, but not limited to:</p> <ul style="list-style-type: none"> • All visibly dry disturbed soil surfaces shall be watered to minimize fugitive dust. • Installation of a “stabilized construction entrance/exit” as detailed in the Department of Transportation storm water handbook (TC-1) will be utilized. • Earth or other material tracked on to neighboring paved roads shall be removed promptly. • Dust generating activities will be limited during periods of high winds (over 15 mph). • Access of unauthorized vehicles onto the construction site during non-working hours shall be prevented. • A weekly log shall be kept of fugitive dust control measures that have been implemented. 	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction

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	<ul style="list-style-type: none"> • Restrict idling of diesel engines on the site to less than 5 minutes. • All haul trucks transporting soil, sand or other loose materials off-site shall be covered. • All vehicle speeds on unpaved roads shall be limited to 15 mph. • Idling times shall be minimized either by shutting equipment off when not in use or reducing the maximum idling time to 5 minutes (as required by the California airborne toxics control measure title 13, Section 2485 of the California Code of Regulations). Clear signage shall be provided for construction workers at access points. • All construction equipment shall be maintained and properly tuned in accordance with manufacturer's specifications. All equipment shall be checked by a certified mechanic and determined to be running in proper condition prior to operation. • Post a publicly visible sign with telephone number for the applicant's representative regarding dust complaints. This person shall respond and take corrective action within 48 hours. The MCAQMD phone number shall also be visible to ensure compliance with applicable regulations. 				

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	3.6-A.4 All off road construction equipment with engines greater than 50 horsepower (hp) and operating on the site for more than two days or 20 hours shall meet, at a minimum, U.S. EPA particulate matter emission standards for Tier 4 engines or equivalent. In the event that such equipment is not available, the use of Tier 3 construction equipment is sufficient so long as it can be demonstrated to the County that similar Tier 4 construction equipment is not readily available	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. During and at Completion of construction
	3.6-A.5 The applicant shall submit a Construction and Demolition Waste Management Plan (CWMP) to the Mendocino Solid Waste Management Authority prior to the start of construction-related activities in accordance with Mendocino Solid Waste Management Authority requirements (Ordinance 4301). The CWMP will outline measure to capture and recycle materials that would otherwise end up in the waste stream.	Project Construction Manager	Issuance of Building, Grading or Other Permits	Planning Dept. MSWMA	Planning Dept. During and at Completion of construction
3.6-F: The project will use more energy and thereby generate greenhouse gas emissions that would adversely affect the global climate.	3.6-F.1 The project shall minimize the emission of greenhouse gases by including at least the following: <ul style="list-style-type: none"> The project shall be constructed to incorporate the 2010 Title 24 building standards (or whatever standards have been adopted at the time that building permits are issued). 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction

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	<ul style="list-style-type: none"> Project residential units shall be oriented for maximum solar access. Roofs shall be constructed to allow easy and efficient retrofitting with roof-top solar panels. The project applicant shall ensure that the CC&Rs of the Homeowner's Association develops and maintains energy- and water-efficient practices for the common areas of the subdivision and follows a landscaping plan that does not impair the efficient operation of the solar collection facilities. 				
	<p>3.6-F.2 All residences would be constructed in accordance with the most recent edition of Title 24 of the California Building Code (CBC). The CBC contains mandatory requirements that apply to residential buildings that will be a part of the project which include: high performance attics insulation and walls, high efficacy lighting, windows, water heating and HVAC systems. Specific energy conservation features include:</p> <ul style="list-style-type: none"> Structures will incorporate natural cooling by utilizing window overhangs, awnings, front and rear patios, shade from neighboring structures, radiant heat-reflective barriers in the attic and appropriate tree plantings or a combination thereof. 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction

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	<ul style="list-style-type: none"> Structures will be constructed in compliance with solar requirements found in Title 24 of the California Building Code. Project will incorporate Energy Star Certified Appliances. At a minimum, the following appliances are recommended to be Energy Star rated: dishwasher and water heater. Natural lighting may be incorporated into the home through solar tubes and sky lights. Windows, sky lights and other fenestration will meet energy code requirements and will be Energy Star certified. These elements will have low U-factor (U-value) rating. U-factors is a rate of non-solar heat loss or gain through a while window assembling. The lower the U-factor, the greater a window's resistance to heat flow and the better its insulating value. Project will incorporate the use of low flow toilets and faucets that meet the standards as set forth by the California Energy Commission. All landscaping will be installed to AB 1881 (The Water Conservation in Landscaping Act of 2006) standards, which promotes water efficiency and conservation, using mulch, bubblers, and timed sprinkler systems. 				

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	<p>3.6-F.3 The following features shall be included in the Modified Project to reduce GHG emissions:</p> <ul style="list-style-type: none"> • No fireplaces; • Include solar power for each of the residential lots (not quantified); • No natural gas hookups; • Include infrastructure to promote electric car charging (i.e., provide 220VAC outlets); • Meet latest CalGreen Title 24 standards); • Include energy efficient appliances; • Include low-flow water fixtures; and • Include water-efficient irrigation systems (drip systems). 	Project Applicant	Issuance of Building, Grading or Other Permits	Planning Dept.	Planning Dept. Completion of construction
NOISE					
<p>3.7-A: The east end of the project could be exposed to excessive noise.</p>	<p>3.7-A.1: Project-specific acoustical analyses shall be required to confirm that outdoor activity areas are provided with Ldn values at or below 60 dBA, and interior Ldn values will not exceed 45 dBA. Sound insulation measures, including any mechanical ventilation systems needed to permit closed windows, should be designed by an experienced acoustical consultant and incorporated into construction documents submitted for permits.</p>	Project Applicant	Prior to approval of final map for Phases 1 and 2 (east end of project site)	Planning Dept.	Planning Dept. Issuance of Building Permits

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<p>3.7-C: Construction of project improvements would generate construction noise over a period exceeding one year.</p>	<p>3.7-C.1: Project construction shall not cause excessive noise. To accomplish this standard, the following measures are required:</p> <ul style="list-style-type: none"> • Noise-generating activities at the construction site or in areas adjacent to the construction site associated with the project in any way should be restricted to the hours of 7:00 a.m. to 6:00 p.m., Monday through Friday. No construction activities should occur on weekends or holidays. • Equip all internal combustion engine driven equipment with intake and exhaust mufflers that are in good condition and appropriate for the equipment. • Unnecessary idling of internal combustion engines should be strictly prohibited. • Locate stationary noise generating equipment such as air compressors or portable power generators as far as possible from sensitive receptors. Construct temporary noise barriers to screen stationary noise generating equipment when located near adjoining sensitive land uses. • Utilize "quiet" air compressors and other stationery noise sources where technology exists. • Control noise from construction workers' radios, CD players, etc. to a point that they are 	Project Applicant	During construction of all phases of the project.	Planning Dept.	<p>Planning Dept.</p> <p>Completion of construction</p>

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	<p>not audible at existing residences bordering the project site.</p> <ul style="list-style-type: none"> Designate a "disturbance coordinator" who would be responsible for responding to any local complaints about construction noise. The disturbance coordinator will determine the cause of the noise complaint (e.g., starting too early, bad muffler, etc.) and will require that reasonable measures warranted to correct the problem be implemented. Conspicuously post a telephone number for the disturbance coordinator at the construction site and include it in the notice sent to neighbors regarding the construction schedule. Notify existing residents when especially noisy operations are scheduled near their property, allowing the residents to plan activities accordingly. Examples of especially noisy sources: heavy earth moving equipment, jack hammers, pile drivers. 				
AESTHETICS					
3.8-A: The project would replace views from South State Street and other vantage points east of the site	3.8-A.1: Final project design and landscape plan shall undergo design review by the County Department of Planning and Building Services and/or the County Planning Commission to ensure consistency with the design guidelines adopted for this project. The final project shall be	Project Applicant	Upon submittal of project site and landscaping, park, and	Planning Dept.	Planning Dept. Prior to issuance of building permits

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of open space with views of residential development.	revised, if requested, to comply with the County's review recommendations.		initial building plans,		
	3.8-A.2: Landscaping will be mature within 15 years of initial project construction (Phase 1). Mature means that perimeter trees shall be at least 20 feet tall. The final landscape plan shall include tree landscaping along the north and east sides of the site using species that fully screen views from the east and screens at least half of the buildings on the north side. The plan shall include specifications for planting, irrigating, fertilizing, and replacing dead trees so that the landscaping will be mature within 15 years.	Project Applicant	Development Agreement	Planning Dept. Mendocino County Water Agency	Planning Dept. Mendocino County. Water Agency 15 years after project completion
3.8-C: The project would replace views from Gobalet Lane, residences north of Gobalet Lane, and residences south of Oak Knoll Road of open space with views of residential development.	Mitigation Measures 3.8-A.1 and 3.8-A.2 apply to this impact.	See the cited mitigation measures			
3.8-F: New lighting on the project site will	3.8-F.1: The final design shall include a lighting plan that minimizes light escape from the site. The final plan shall become part of the CC&Rs for the	Project Applicant	Development Agreement	Planning Dept.	Planning Dept.

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change nighttime views in the area.	<p>Homeowners Association. This plan shall include the following:</p> <ol style="list-style-type: none"> 1. Light shielding is required. Except as otherwise exempt, all outdoor lighting fixtures shall be constructed with full shielding. Shielding shall prevent the light source from being visible to adjacent residential properties. 2. Minimum/Maximum Level of Illumination. The minimum and maximum levels of illumination permitted are listed below. A photometric study listing the number; type, height, and level of illumination of all outdoor lighting fixtures shall be required prior to issuance of a building permit or site improvement plans to ensure compliance with these provisions. <ol style="list-style-type: none"> a. Minimum security lighting for sidewalks, walkways, parking areas, and similar areas shall be 1.0 foot-candles, measured at ground level, not to exceed 3.0 foot-candles on average. b. In order to minimize light trespass on abutting property, illumination measured on the property line of a subject parcel shall not exceed 0.5 foot-candles, measured on a vertical plane along the property line. c. Building-mounted decorative or security lights shall not exceed 5.0 foot-candles, measured a distance of five feet from the light source. All buildings lighting shall be reviewed and 				Issuance of Building Permits

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	<p>authorized by Mendocino County prior to the initiation of lighting installation.</p> <p>3. Maximum Height of Outdoor Light Fixtures. The maximum height of freestanding outdoor light fixtures for multi-family residential development and non-residential development abutting a single-family residential zoning district or use shall be 20 feet. Otherwise, the maximum height for freestanding outdoor light fixtures shall be 25 feet.</p> <p>4. Type of illumination. All outdoor lighting fixtures shall be energy efficient. Energy efficient lights include all high-intensity discharge lamps (mercury vapor, high-pressure sodium, low-pressure sodium, and metal halide). The concentrated and/or exclusive use of either low-pressure sodium or metal halide lighting is prohibited.</p> <p>5. Hours of illumination. Automatic timing devices shall be required for all outdoor light fixtures on multi-family residential and non-residential development (e.g., parks) with off hours (exterior lights turned off) between 11:00 p.m. and 6:00 a.m. Exceptions are that outdoor lights may remain on in conjunction with the hours of operation of the corresponding use, for security purposes, or to illuminate walkways, roadways, equipment yards, and parking lots.</p> <p>6. Prohibited Lighting. The following outdoor light fixtures shall be prohibited as specified below.</p>				

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	<ul style="list-style-type: none"> a. Lighting of parks for active nighttime recreation. b. Uplighting/back-lit canopies or awnings. c. The concentrated and/or exclusive use of either low- pressure sodium or metal halide lighting d. Neon tubing or band lighting along building structures e. Searchlights. f. Flashing lights. g. Illumination of entire buildings. Building illumination shall be limited to security lighting and lighting of architectural features authorized by the designated Approving Authority in conjunction with the required development permit(s). h. Roof mounted lights except for security purposes with motion detection and full shielding so that the glare of the light source is not visible from any public right- of-way. 				
PUBLIC SERVICES AND INFRASTRUCTURE					
3.9-C: Development of the project would increase the demand for police response	3.9-C.1: The final project design shall be reviewed by the Sheriff's Office to determine if it provides adequate access, security lighting, and other factors affecting police response. The final map	Project Applicant	Final Subdivision Map	Mendocino County Sheriff's Office	Sheriff's Office Planning Dept.

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by the Mendocino County Sheriff's Office and by the Ukiah Police Department and would increase demand on other portions of the criminal justice system.	shall incorporate security measures required by the Sheriff's Office.				Issuance of Building Permits
3.9-F: New development resulting from the project and other new development in the area would increase the demands on the Ukiah Valley Fire District and the emergency medical response system possibly require the construction of new facilities.	3.9-F.1: If the County has not adopted additional funding for the EMS system at the time of approval of the Development Agreement, then the applicant shall agree within the Development Agreement to pay any fees that the County adopts for EMS funding prior to and/or within five years of approval of the Development Agreement.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. . Issuance of Building Permits
3.9-H: The project would contribute to the need for a new water	3.9-H.1: The applicant shall enter into an agreement with the Willow County Water District to pay a capital improvement fee (estimated at	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Willow CWD

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storage facility.	\$400,000) to fund the project's share of the replacement and expansion of the Fircrest Drive water storage tank.			Willow CWD	Issuance of Building Permits
3.9-M: The project would increase the plan area population, thereby increasing the demand for parks and recreational facilities. This increased demand could result in significant deterioration of existing facilities and the need for new or expanded facilities.	3.9-M.1: Construct and maintain a "tot lot" with playground equipment on one of the two project parks. The tot lot will be maintained by the Homeowner's Association.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Issuance of Building Permits
	3.9-M.2 The Neighborhood Park and the contours of the detention basin shall be modified to establish suitable terrain for a multi-purpose playing field that provides a minimum of 100' x 200' of level playing area.	Project Applicant	Development Agreement	Planning Dept.	Planning Dept. Issuance of Building Permits
3.9-O: Future development could be placed in locations where people and structures would be exposed to potential wildland fires.	3.9-O.1: The project shall be designed and constructed to minimize risk of wildfire destroying residences. The Ukiah Valley Fire District shall review project plans and determine in writing that adequate access, emergency response, and fire flow are available, and that the project complies with the most current State requirements for development in the wildland/urban interface. Final	Project Applicant	Conditions of Approval	Ukiah Valley Fire District Planning Dept.	Ukiah Valley Fire District Planning Dept. Issuance of Building Permits

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	project design shall conform with any changes that the District requires.				
3.9-R: Toxic materials and wastes on the site could pose a risk to human health.	3.9-R.1: All potential toxic wastes and materials shall be removed and/or remediated prior to site grading. The applicant shall do the following, as recommended in the Phase I Environmental Site Assessment: <ul style="list-style-type: none"> ● Abandon any inoperable water supply wells on the site following all the requirements of the Mendocino County Division of Environmental Health. ● Collect soil samples in the area of the former underground storage tank and the aboveground fuel storage tank. The soil samples shall be tested for Total Petroleum Hydrocarbons as gasoline and the constituents benzene, toluene, ethylbenzene; xylenes, fuel oxygenates, lead scavengers, and total lead. Results of the testing shall be provided to the Mendocino County Division of Environmental Health. If the Division determines that additional testing or remediation is required, the applicant shall fulfill all County requirements. ● If volatile organic compounds are discovered on the site, a human health risk 	Project Applicant	Conditions of Approval	Mendocino County Division of Environmental Health	Mendocino County Division of Environmental Health Planning Dept. Prior to issuance of Grading Permit

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	<p>assessment will be performed per requirements of the County Division of Environmental Health. That assessment will identify measures needed to ensure that workers and future residents are not exposed to County- and State- defined harmful levels of these compounds.</p> <ul style="list-style-type: none"> • Dispose of any waste oil, lubricants, paints, or other liquids in accordance with all applicable regulatory requirements. • Investigate the fuel source for the prune dryer that formerly was located on the west side of the site to determine its fuel source. If it was gasoline, then conduct soil tests at that site as described above. • Assess whether the workshop/storage building has the potential for lead paint or asbestos. If so, then demolition shall follow all requirements established by the Mendocino County Division of Environmental Health. 				